

*** All present are expected to conduct themselves in accordance with our City's Core Values ***



OFFICIAL NOTICE AND AGENDA

of a meeting of a City Board, Commission, Department Committee, Agency, Corporation, Quasi-Municipal Corporation or Sub-unit thereof.

Notice is hereby given that the PLAN COMMISSION of the City of Wausau, Wisconsin will hold a regular or special meeting on the date, time and location shown below.

Meeting of the: **PLAN COMMISSION OF THE CITY OF WAUSAU**
Date/Time: **Tuesday, August 20, 2024 5:00pm**
Location: **City Hall (407 Grant Street, Wausau WI 54403) - COMMON COUNCIL CHAMBERS**
Members: Mayor Doug Diny (C), Eric Lindman, Sarah Watson, Lou Larson, Bruce Bohlken, Andrew Brueggeman, George Bornemann

AGENDA ITEMS FOR CONSIDERATION

1. Approved the meeting minutes for July 16, 2024.
2. **PUBLIC HEARING:** Discussion for the Conditional Use of 260 S 17th Ave to allow for an instant oil change service facility, in a SMU, Suburban Mixed-Use Zoning District.
3. Discussion for the Conditional Use of 260 S 17th Ave to allow for an instant oil change service facility, in a SMU, Suburban Mixed-Use Zoning District.
4. Next Meeting Date: Tuesday, September 17, 2024 5:00pm
5. Adjournment

MAYOR DOUG DINY - COMMITTEE CHAIR

NOTICE: It is possible that members of, and possibly a quorum of members of the Committee of the Whole or other committees of the Common Council of the City of Wausau may be in attendance at the above-mentioned meeting. No action will be taken by any such groups.

Members of the public who do not wish to appear in person may view the meeting live over the internet and can be accessed at <https://tinyurl.com/wausaucitycouncil>. Any person wishing to offer public comment who does not appear in person to do so, may e-mail samantha.kulig@ci.wausau.wi.us with "Plan Commission public comment" in the subject line prior to the meeting start. All public comment, either by email or in person, will be limited to items on the agenda at this time. The messages related to agenda items received prior to the start of the meeting will be provided to the Chair.

This Notice was posted at City Hall and emailed to the Daily Herald newsroom on **08/13/2024 @ 4:00 p.m.** Questions regarding this agenda may be directed to the Planning Department at (715) 261-6760.

In accordance with the requirements of Title II of the Americans with Disabilities Act (ADA), the City of Wausau will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. If you need assistance or reasonable accommodations in participating in this meeting or event due to a disability as defined under the ADA, please call the ADA Coordinator at (715) 261-6622 or ADAServices@ci.wausau.wi.us to discuss your accessibility needs. We ask your request be provided a minimum of 72 hours before the scheduled event or meeting. If a request is made less than 72 hours before the even the City of Wausau will make a good faith effort to accommodate your request.

Distribution List: City Website, Media, Committee Members, Council Members, Assessor, Attorney, City Clerk, Community Development, Finance, Metro Ride, Human Resources, Police Department, Hebert, Lenz, Lynch, Stahl, Polley, CESO inc



STAFF REPORT

To: Plan Commission
Prepared By: Andrew Lynch, AICP Asst City Planner
Date: August 14, 2024

REQUESTED ACTION:

Conditional Use Permit at 260 S 17th Ave

LOCATION:	260 S 17 th Ave
APPLICANT:	Valvoline LLC
EXISTING ZONING:	Suburban Mixed Use - SMU
EXISTING LAND USE:	Undeveloped
REQUESTED CONDITIONAL USE:	Vehicle Service and Repair
COMPREHENSIVE PLAN:	This area is mapped as Suburban Commercial.
OTHER PLANS:	n/a

PURPOSE:

Valvoline LLC proposes to develop a 2-bay instant oil change facility that will operate seven days a week with up to five employees per shift. This is part of a shared development with the Cousin's Subs facility to the west. Vehicle Service and Repair is a Conditional Use for Suburban Mixed Use zoning. Staff has worked with the developer on site plans and conformance to zoning and building standards.

CONDITIONAL USE PROCEDURE:

The City of Wausau zoning code requires two Plan Commission meetings to approve or deny a conditional use.

1st meeting: Public Hearing, no action.

2nd meeting: Staff report available, Final action taken.

PUBLIC HEARING

During the Public Hearing: Statements of personal preferences or speculation not based on substantial evidence must be disregarded by the Plan Commission. 'Substantial evidence' means facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion. (W.M.C. 23.10.32(6)(a)).

REVIEW AND ACTION

STANDARDS

(8) <i>Findings.</i> In reviewing and taking final action on a proposed conditional use permit, the Plan Commission shall consider whether the proposed conditional use: (W.M.C. 23.10.32(8))	
(a) Is in harmony with the Comprehensive Plan.	
(b) Would result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare.	
(c) Maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.	
(d) The conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public or private agencies serving the subject property.	
(e) The potential public benefits outweigh any potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.	

SUBSTANTIAL EVIDENCE FROM THE PUBLIC HEARING

N/A

STAFF RECOMMENDATION

N/A

ACTION

The Commission may

1. approve the use as originally proposed,
2. approve the proposed conditional use with modifications and/or conditions,
3. or deny approval of the proposed conditional use.

LEGAL NOTICE Publish: August 6th & 13th, 2024.

260 SOUTH 17th AVENUE

NOTICE OF PUBLIC HEARING BEFORE WAUSAU CITY PLAN COMMISSION

Notice is hereby given that an application has been filed with the City of Wausau by Valvoline LLC requesting that a conditional use be approved for the following described property:

SEC 27-29-07 PT SW 1/4 SE 1/4 – LOT 1 CSM #19532 DOC #1880763 EX COM
AT NE COR LOT 2 SD CSM TH S 89 DEG 41' 36" W 12.05' TO POB TH S 0
DEG 13' 28" E 16' TH S 89 DEG 42' 17" W 30' TH N 0 DEG 13' 28" W 16' TH
N 89 DEG 42' 12" E 30' TO POB
[NON-TID PORTION OF LOT 1]

to allow for an instant oil change service facility, in an SMU, Suburban Mixed Use Zoning District.

Notice is hereby given that the **Plan Commission** will hear said request at a **public hearing** to be held at its meeting scheduled to begin at **5:00 p.m. on Tuesday, August 20, 2024**, in the Common Council Chambers of Wausau City Hall, 407 Grant Street.

Dated: August 1, 2024

Kaitlyn Bernarde, City Clerk

CITY OF WAUSAU

APPLICATION FOR A CONDITIONAL USE

For background on the conditional use process and other important information, please read the “*Information and Instructions for City of Wausau Conditional Use Process*” carefully before completing this application.

Please provide all of the information requested below, including a site plan, a written description of the conditional use including type of activities, buildings, structures and off-street parking, as well as the number of employees, written justification for conditional use including evidence that the application is consistent with the City of Wausau Comprehensive Plan and a Traffic Impact Analysis for group and large development projects. If you have questions during the course of preparing the application, contact either the Zoning Administrator at 715-261-6783 or the City Planner at 715-261-6753. (PLEASE PRINT OR TYPE)

1. Address of the property where the conditional use is requested:

2. Provide a legal description of subject property in the space below or attach a copy of the legal description to this application. (For example, the legal description might be the lot, block, and name of a subdivision, or a Certified Survey volume and page number, or some other type of legal description. The City Assessor, at 715-261-6600, may be able to provide this information):

3. Name(s) of Applicant Business: _____

Name of Contact Person (PLEASE PRINT): _____

Mailing Address: _____

Email Address: _____

Daytime Phone No. of Contact Person: _____

Evening Phone No. of Contact Person: _____

What is your interest in the subject property? (For example, owner, prospective owner, renter, attorney for owner, etc.)

4. Property Owner Name(s) if Different from Applicant: _____

Mailing Address: _____

Email Address: _____

Owner's Daytime Phone Number: _____

Owner's Evening Phone Number: _____

5. What is the area, in square feet, of the property on which the establishment of the conditional use is requested? _____

6. What is the present zoning of the subject property? _____

7. What is (are) the present use(s) of the subject property? _____

8. Proposed use(s) of property: _____

Primary Use (reason for conditional use request): _____

Secondary use (if any) of property in addition to the conditional use: _____

Other use(s): _____

9. Describe in detail the nature of your proposed conditional use request. Include information regarding construction of new buildings, remodeling of existing buildings, location and amount of parking, number of employees, hours of operation, proposed type, size, location, and style of any new sign(s), and other pertinent information. (This information may be provided on a separate sheet or sheets)

Generally, a site plan and more detailed information about any buildings will need to be submitted in order to more accurately explain your proposal. This is described in greater detail in the attached section, "*Site Plan and Building Information*".

This application, the site plan and all other information provided by the applicant, including testimony made at the public hearing, become part of the public record of your conditional use request. Any material variations from this application could be cause for the Plan Commission to void this application and require the applicant to reapply for the conditional use. Therefore, do not make written or verbal statements regarding the proposed use(s) that are not entirely accurate. (Include additional page(s) if necessary)

NOTE: If you are submitting an application for a community living arrangement (group home, community based residential facility, etc.) please request a copy of the City's *Policy Regarding Location and Distribution of Community Living Arrangements* (April, 1996). This policy is available from the Inspections Department and identifies additional information that **MUST be submitted with your conditional use application for this type of use.**

10. I (we), the undersigned, do hereby make application and petition the Plan Commission to approve the conditional use as requested above and shown on the site plan and building plans submitted with this application:

Kelly John

Signature of Applicant Date

PRINTED Name

James Douthitt

Additional Applicant Signature Date

PRINTED Name

Please return your completed application with site and building plans and a check made payable to "City of Wausau" (for the City's publication fee costs) to the Community Development Office on the Second Floor of Wausau City Hall, 407 Grant Street, Wausau WI 54403 (or to the Inspections Department located on the Second Floor of Wausau City Hall).

The publication fee is \$400 for a public hearing at a regularly scheduled Plan Commission meeting (and \$550 if you request a special Plan Commission meeting). Please contact the City Planner (715-261-6753) or Inspections Department (715-261-6780) to determine if these fees are current since they are subject to change.

<p>For City Use Only Date Received at City Hall: _____ Received By: _____ Amt. Submitted w/Application: \$ _____ Check Number: _____ Month Requested for Hearing: _____ Plan Commission Meeting Date for Expected Final Approval: _____ Other: _____</p>

In order to facilitate the review and approval of a conditional use, the applicant must provide a site plan and building information at the time the "*Application for a Conditional Use*" is submitted. Providing this information will help ensure that the Plan Commission is able to act upon your request at the public hearing meeting. If you fail to submit this information in advance, the Plan Commission may need to take action in order to receive and adequately review the information. Therefore, a site plan must be provided at a scale of 1 inch = 20 feet (or less than 20 feet) and, where applicable, should show the following information:

1. Property lines with dimensions in feet.
2. Location of existing and proposed structures relative to the property lines and the exterior dimensions of said structures.
3. Building setback dimensions – that is, the distance the existing and/or proposed buildings are located from the front, side and rear lot lines.
4. Location and dimensions of any loading areas and off-street parking areas, as well as the location and width of driveways and the layout of parking stalls and interior traffic circulation.
5. Location of proposed and existing stormwater drainage facilities for the building and parking lot. If the parking lot is larger than 7,500 square feet, on-site stormwater drainage plans will be needed.
6. Location and size of any proposed outside storage areas.
7. Location, size, height, and type of any proposed landscaping, fences, signs, parking lot lighting, and other pertinent exterior features proposed as part of the conditional use.

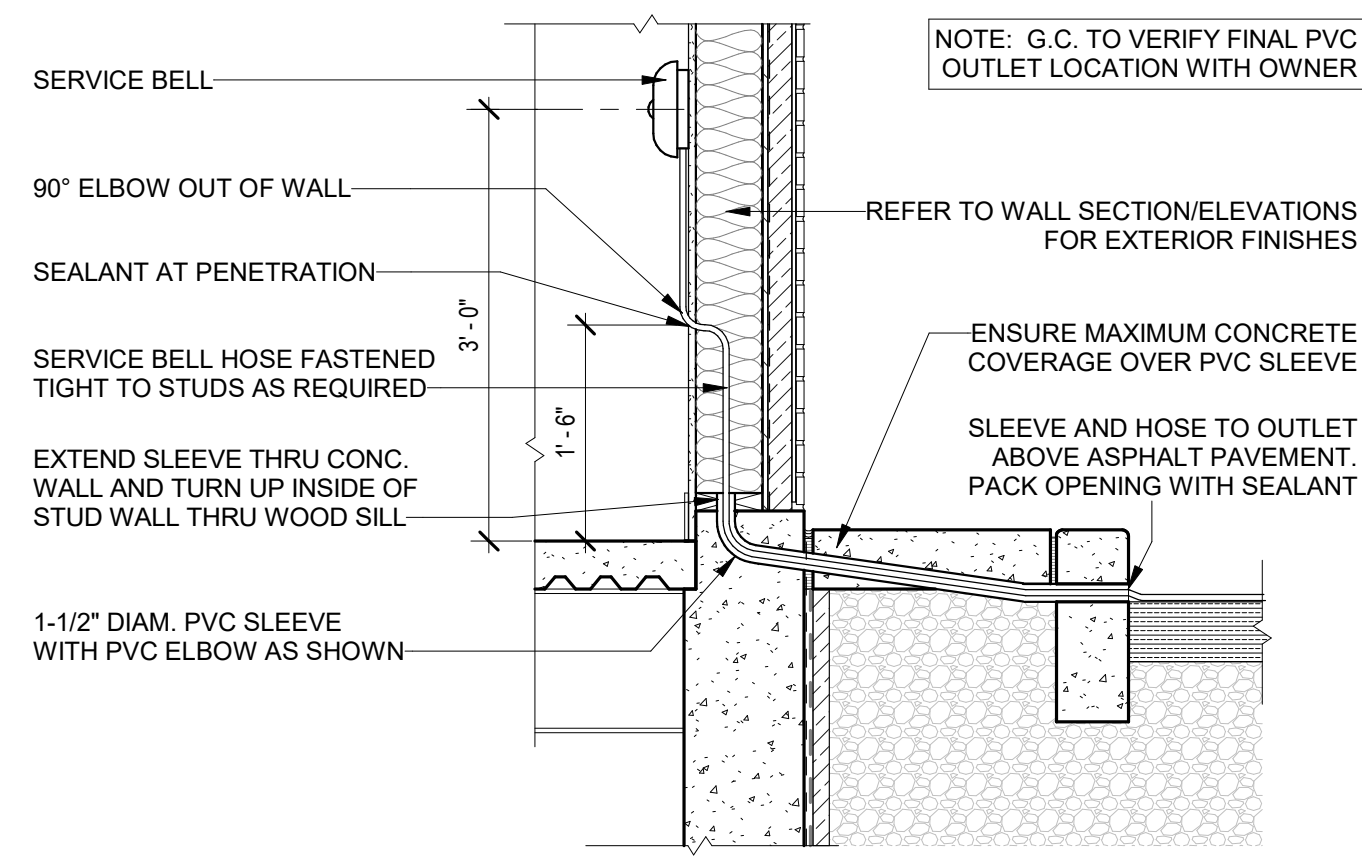
Generally, the building information should include:

1. An elevation of all exterior walls if the building is to be new construction.
2. The height of the structure in feet.
3. An indication of the types of building materials which will be used for the facade and roof.
4. A floor plan of the building.
5. Details of any changes which will be made to the building if the proposed use will be located in an existing building.

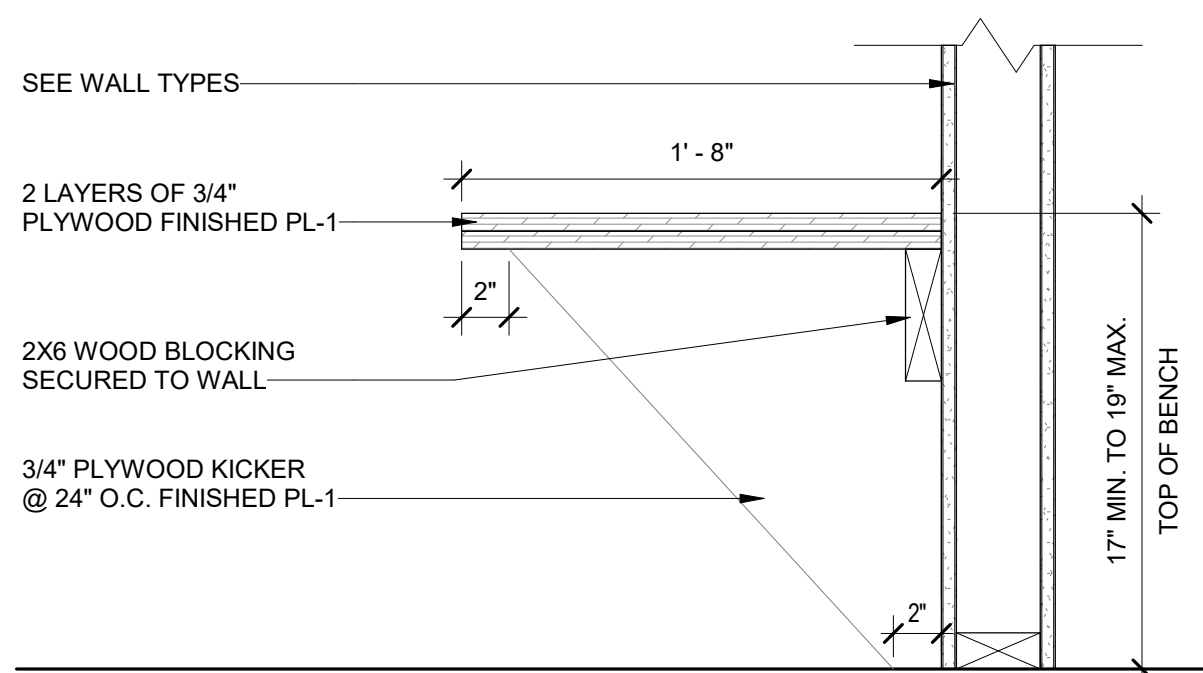
**LEGAL DESCRIPTION PER COMMITMENT FOR TITLE INSURANCE
ISSUED BY FIDELITY NATIONAL TITLE COMMITMENT NUMBER
W-400459, DATED DECEMBER 28, 2023.**

FOR APN/PARCEL ID(S): 291-2907-274-0921
FOR TAX MAP ID(S): 291-2907-274-0921

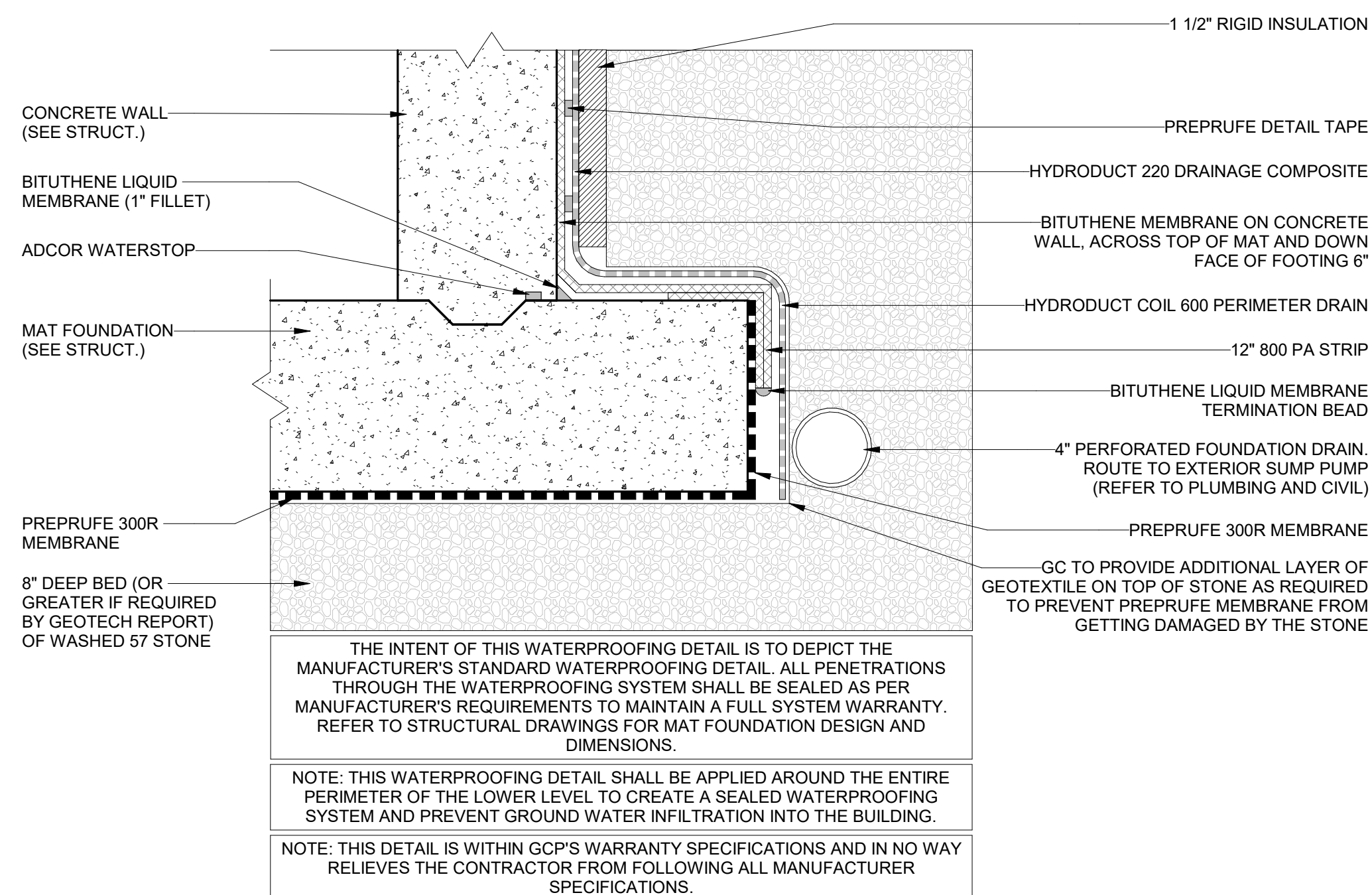
LOT 1 OF CERTIFIED SURVEY MAP NO. 19532 RECORDED MAY 4, 2023 AS DOCUMENT NO. 1880763, BEING ALL OF LOT 2 OF CERTIFIED SURVEY MAP NO. 18444 RECORDED IN VOLUME 91, ON PAGE 75, AS DOCUMENT NO. 1789467, AND ALL OF LOT 3 OF CERTIFIED SURVEY MAP NO. 18728 RECORDED AS DOCUMENT NO. 1816734, LOCATED IN THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 27, TOWNSHIP 29 NORTH, RANGE 7 EAST, IN THE CITY OF WAUSAU, MARATHON COUNTY, WISCONSIN.



4 SERVICE BELL DETAIL
A-1.1 Scale: 3/4" = 1'-0"



3 BENCH DETAIL
A-1.1 Scale: 1 1/2" = 1'-0"



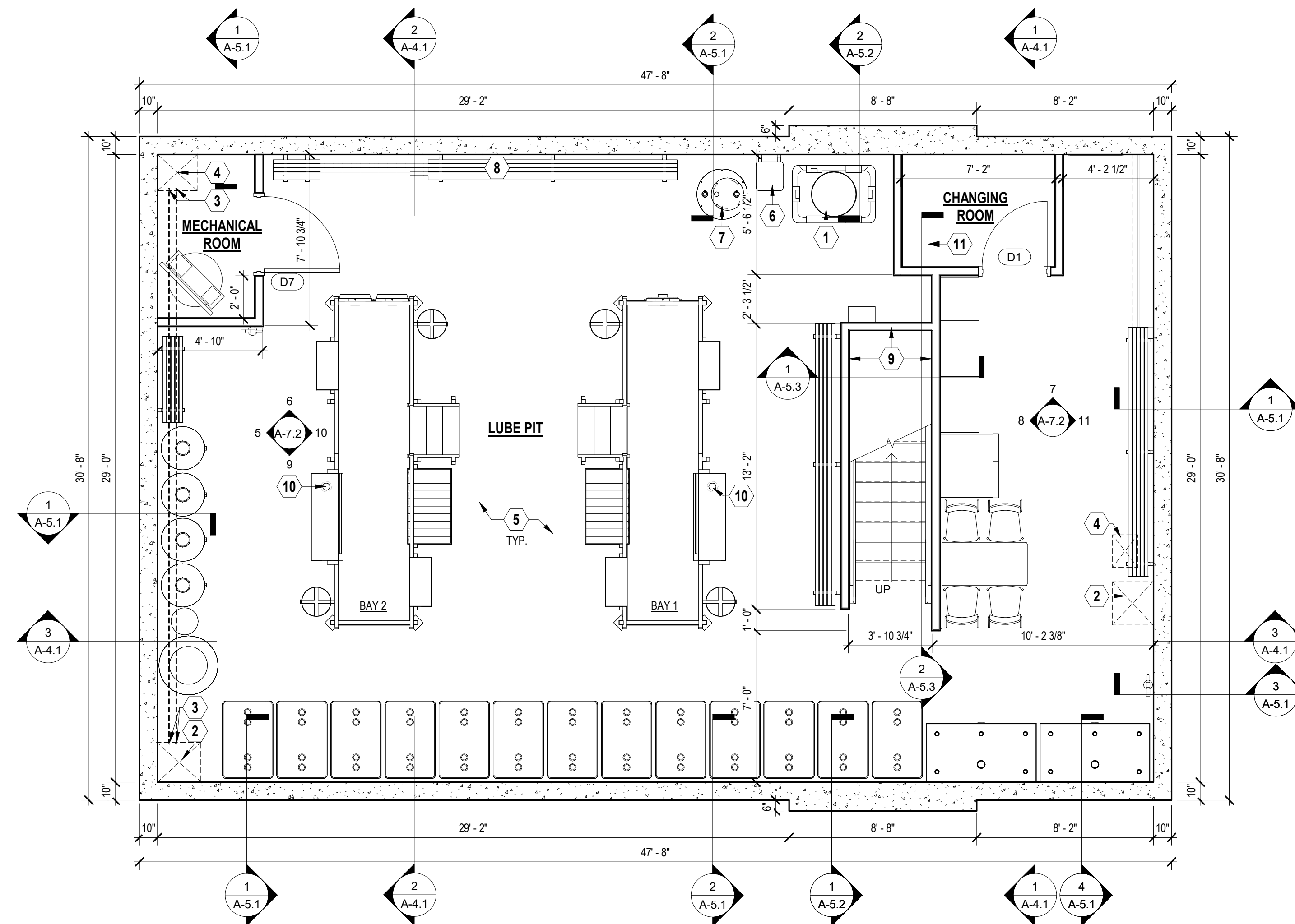
2 WATERPROOFING DETAIL
A-1.1 Scale: 1 1/2" = 1'-0"

FLOOR PLAN KEY NOTES:

- 1 OIL-WATER SEPARATOR - SEE PLUMBING
- 2 LINE OF CHASE ABOVE
- 3 ROUTE PROCESS PIPING FROM DRUM TRANSFER PUMP @ UPPER LEVEL, DOWN IN CHASE TO LUBE BAR DRUM TRANSFER IN LUBE PIT. COORDINATE ROUTING IN FIELD
- 4 MECHANICAL DUCT ABOVE. SEE MECHANICAL PLANS.
- 5 PROVIDE UNDERSLAB WATERPROOFING BENEATH ENTIRE LOWER LEVEL - SEE DETAIL 2/A-1.1
- 6 AUTO AIR DRYER. REFER TO OPERATIONS EQUIPMENT PLAN G-3.1 (COORDINATE LOCATION WITH PLUMBING DRAWINGS.)
- 7 OIL-WATER SEPARATOR PUMP AND BASIN - SEE PLUMBING
- 8 BUMP HAT STORAGE
- 9 GYPSUM BOARD NOT REQUIRED TO BE INSTALLED ON STUD FRAMING WHERE NOT VISIBLE BENEATH STAIR. SEE DETAIL 1/A-5.3.
- 10 TIRE ROTATION AIR LINE LOCATION. G.C. TO COORDINATE W/ VENDOR
- 11 CHANGING BENCH - SEE DETAIL 3/A-1.1

GENERAL NOTES

- A. INTERIOR WALL SEPARATING THE SERVICE BAYS FROM THE WAITING/RESTROOM/OFFICE/MECHANICS ROOM, AND INTERIOR WALLS SURROUNDING THE RESTROOM, OFFICE AND MECHANICAL ROOM SHALL BE PROVIDED WITH SOUND BATT INSULATION FOR THE FULL HEIGHT OF THE WALLS. VAPOR BARRIER IS NOT REQUIRED IN THESE WALLS.
- B. ALL EXTERIOR WALLS AND ROOF SHALL BE PROVIDED WITH INSULATION TO ACHIEVE A COMPLETELY INSULATED THERMAL ENVELOPE AS REQUIRED - REFER TO SHEET A-4.1. PROVIDE VAPOR BARRIER PER LOCAL CLIMATE REQUIREMENTS.
- C. ALL GYPSUM BOARD IN SERVICE BAYS SHALL BE 5/8" HIGH ABUSE FIRE SHIELD BY NATIONAL GYPSUM.
- D. ALL WALLS EXTENDING TO UNDERSIDE OF PLYWOOD ROOF SHEATHING SHALL BE BRACED TO STRUCTURE AS REQUIRED. PROVIDE NECESSARY BLOCKING FOR STABLE, SECURE INSTALLATION.
- E. REFER TO SHEET G-3.1 FOR EQUIPMENT SCHEDULES AND LOCATIONS.
- F. DIMENSIONS FOR INTERIOR WALLS ON PLANS ARE TO ROUGH FRAMING (U.N.O.) EXTERIOR DIMENSIONS ARE TO FINISHED SURFACES AND OPENINGS.
- G. REFER TO STRUCTURAL FOR FLOOR PENETRATION LOCATIONS
- H. POLYETHYLENE VAPOR BARRIER TO BE USED ON WALL/ CEILING APPLICATIONS WHERE UNFACED BATT INSULATION IS USED.



1 FLOOR PLAN - LOWER LEVEL
A-1.1 Scale: 1/4" = 1'-0"



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DATE	ISSUE
##/##/###	OWNER REVIEW SET

PROFESSIONAL SEAL

PROFESSIONAL LICENSE NO.

CERTIFICATE OF AUTHORIZATION NO.

PROFESSIONAL IN CHARGE

BRADY HARDING

PROJECT MANAGER

ARW

QUALITY CONTROL

MC

DRAWN BY

RLD

PROJECT NAME



VALVOLINE INSTANT OIL CHANGE

PROJECT NAME
CITY, ST.
EXTRA LINE
EXTRA LINE

PROJECT NUMBER

SHEET NAME

FLOOR PLAN - LOWER LEVEL

SHEET #

A-1.1

FINISH SCHEDULE

ROOM	FLOOR	BASE	WALLS			CEILING/ EXPOSED STRUCTURE	REMARKS
			FULL HEIGHT	WAINSCOT BOTTOM	WAINSCOT TOP		
UPPER LEVEL							
WAITING ROOM	F-1	B-1	PR-3PT-1	N/A	N/A	C-1	
UNISEX RESTROOM	F-1	B-1	PR-3PT-1	N/A	N/A	C-1	
OFFICE	F-1	B-1	PR-3PT-5	N/A	N/A	C-1	
MECHANICS ROOM	F-1	B-1	PR-3PT-5	N/A	N/A	PR-3PT-5	
SERVICE BAYS	F-1	B-1	PR-3PT-5	W-1	PR-3PT-5	PR-3PT-5	SEE INTERIOR ELEVATIONS FOR WAINSCOT
LOWER LEVEL							
MECHANICAL ROOM	F-2	B-1	PR-1PT-5	N/A	N/A	PR-2PT-5	B-1 ON STUD WALLS ONLY
LUBE PIT	F-2	B-1	PR-1PT-5	N/A	N/A	PR-2PT-5	PT-6 AS SHOWN ON INTERIOR ELEVATIONS; B-1 ON STUD WALLS ONLY
CHANGING ROOM	F-2	B-1	PR-1PT-5	N/A	N/A	PR-2PT-5	B-1 ON STUD WALLS ONLY

NOTES:

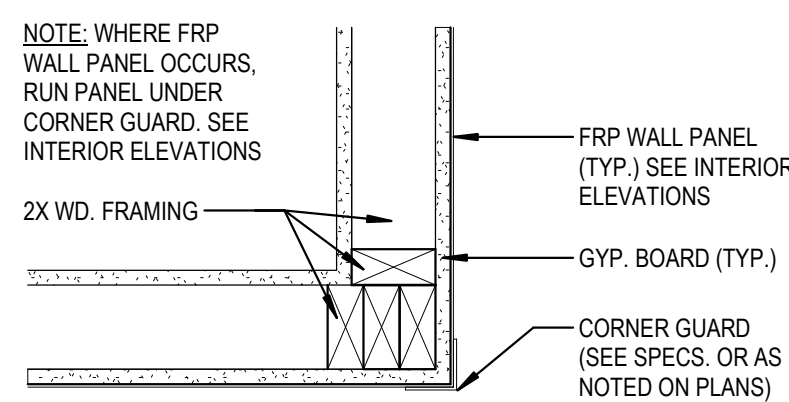
- ANY MOISTURE PROBLEMS SUCH AS ROOF LEAKS, IMPROPER GRADING, ETC. MUST BE CORRECTED PRIOR TO PAINT APPLICATION.
- CLEAN & PREPARE ALL SURFACES ACCORDING TO COATING MFG. RECOMMENDATIONS.
- ALL GALVANIZED SURFACES SHALL BE CORROSION PROTECTED PER SPEC. RUSTED AREAS SHOULD BE PREPARED PER SSPC-SP2 OR SP3 HAND OR POWER TOOL CLEANING & PRIMED WITH PR-2 PRIOR TO APPLICATION OF SPECIFIED FINISH COATS.
- ALL SURFACES SHALL RECEIVE (2) APPLICATIONS OF TOP COAT, APPLIED ACCORDING TO MFG. RECOMMENDATIONS.
- ENTIRE DOOR & FRAME SHALL BE PAINTED ONE COLOR AS NOTED
- ALL WELDS SHALL BE GROUND SMOOTH PRIOR TO PRIME COAT.
- ALL EXPOSED LINTELS SHALL BE PAINTED THE SAME COLOR AS THE DOOR FRAME AT MAN DOORS AND TO MATCH THE DESERT SAND METAL COLORS AT ALL OTHER EXPOSURES.
- ALL EXPOSED STEEL AT STAIR, STAIR RAIL AND PIT OPENING SHALL BE PAINTED PT-4.
- LIGHT BROOM FINISH ON LOWER LEVEL FLOOR WITH (3) COATS OF MASTERKURE CC HIGH GLOSS. TWO COATS AT INITIAL FINISH AND ONE COAT AFTER CLEANING, JUST PRIOR TO TURN OVER.
- WALL FINISHES ON THE LOWER LEVEL SHALL EXTEND UP BETWEEN THE BEAM POCKETS TO THE UNDERSIDE OF THE METAL FLOOR DECK. WALL FINISHES ON THE UPPER LEVEL IN THE SERVICE BAYS AND THE MECHANICS ROOM SHALL EXTEND UP BETWEEN THE ROOF TRUSSES TO THE UNDERSIDE OF THE PLYWOOD ROOF SHEATHING.
- ALL EXPOSED WOOD ROOF TRUSSES, BLOCKING, PLYWOOD ROOF SHEATHING, ETC. SHALL BE PAINTED PT-5.

FINISH LEGEND

MARK	COLOR	FINISH	MANUFACTURER	PRODUCT
PRIMERS:				
PR-1	TINTED TO MATCH		SHERWIN WILLIAMS	HEAVY DUTY BLOCK FILLER B42W150
PR-2	TINTED TO MATCH		SHERWIN WILLIAMS	PRO-CRYL PRIMER B66-1300 SERIES
PR-3	TINTED TO MATCH		SHERWIN WILLIAMS	MULTI-PURPOSE LATEX PRIMER/SEALER B51-450 SERIES
PAINTS:				
PT-1	SW7012 (CREAMY)	GLOSS	SHERWIN WILLIAMS	WATER BASED ALKYD URETHANE ENAMEL B53
PT-2	SW7515 (HOMESTEAD BROWN)	GLOSS	SHERWIN WILLIAMS	SHER-CRYL HPA
PT-3	CEILING WHITE	GLOSS	SHERWIN WILLIAMS	WATER BASED ALKYD URETHANE ENAMEL B53
PT-4	VALVOLINE RED	GLOSS	SHERWIN WILLIAMS	WATER BASED ALKYD URETHANE ENAMEL B53 - Color to match Pantone 485 RED
PT-5	ULTRA WHITE	GLOSS	SHERWIN WILLIAMS	WATER BASED ALKYD URETHANE ENAMEL B53
PT-6	SW2936 (BLACK EMERALD)	GLOSS	SHERWIN WILLIAMS	WATER BASED ALKYD URETHANE ENAMEL B53
WALL PANELS:				
W-1	MAUNA LOA (1295)	SATIN SANDSTONE	CRANE COMPOSITES	FRP PANEL W/ MATCHING COLOR TRIMS - CLASS C
PLASTIC LAMINATE:				
PL-1	DOVE GREY	MATTE	WILSONART	STANDARD HPL FINISH D92-60
FLOOR FINISH:				
F-1	SEE FINISH NOTE D		SIKA / SHERWIN WILLIAMS	MASTERKURE HD 200WB AND MASTERPROTECT H 1001
F-2	SEE FINISH NOTE E		SIKA	MASTERKURE CC 300 SB
BASE:				
B-1	BLACK	SMOOTH	ROPPE OR EQUAL	700 SERIES 4" RUBBER COVE BASE
CEILING FINISH:				
C-1	WHITE	MEDIUM TEXTURE	ARMSTRONG	24"X24" CIRRUS HIGH NRC SQUARE LAY-IN CEILING PANELS SET IN PRELUDE XL ITEM NO. 7301-WH EXPOSED TEE SUSPENSION SYSTEM.

FINISH NOTES

- W-1 FINISH IS AVAILABLE THROUGH CRANE COMPOSITES. CONTACT: KEVIN BELLINGER @ (704) 904-4730. REFER TO DETAIL 4/A-7.1.
- PROVIDE STANDARD FRP TRIMS & MOLDINGS IN COLORS TO MATCH FRP FOR FINISHES W-1. COMPLY W/ MANUFACTURERS INSTALLATION GUIDELINES USING ONLY APPROVED ADHESIVES AND SEALANTS.
- INSIDE OF ACCESS CHASES SHALL BE PAINTED PT-6.
- MASTERKURE HD 200WB SHALL BE APPLIED TO HARDEN AND SEAL THE CONCRETE FLOOR SLAB IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. AFTER THE FLOOR SLAB HAS CURED, APPLY MASTER PROTECT H 1001 (3 COATS MIN) IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. PROVIDE YELLOW CAUTION STRIPING AND BLUE END-OF-BAY MARKING INTEGRAL W/ FLOOR FINISH - SEE FLOOR PLAN. PAINT TO BE SHERWIN WILLIAMS, PROPARK WATERBORNE TRAFFIC PAINT - BLUE.
- PROVIDE LIGHT BROOM FINISH. MASTERKURE CC 300 SB SHALL BE APPLIED IN 3 COATS MIN.



2 CORNER GUARD DETAIL
A-1.2 Scale: 1 1/2" = 1'-0"

FLOOR PLAN KEY NOTES:

- YELLOW SAFETY STRIPE INTEGRAL W/FLOOR FINISH. REFER TO FINISH NOTE "F" & PIT OPENING PLAN DETAIL 1/A-9.1.
- FRP FINISH THIS WALL (OR AREA). PROVIDE/INSTALL TRIM AS REQUIRED. REFER TO FINISH SCHEDULE.
- PLASTIC LAMINATE COUNTERTOP AND WALL CABINETS. REFER TO INTERIOR ELEVATIONS & DETAILS 1 & 2/A-7.1
- SMOKE DETECTOR. (COORDINATE LOCATION IN MECHANICS ROOM WITH OWNER)
- PIPE BOLLARD (SEE PLANS FOR QUANTITY/LOCATION). REFER TO DETAIL 6/A-10.1.
- WATER HEATER ON PLATFORM ABOVE SINK. REFER TO INTERIOR ELEVATIONS AND PLUMBING.
- COMBINATION BOTTLE FILLING STATION AND DRINKING FOUNTAIN, REFER TO INTERIOR ELEVATIONS AND PLUMBING.
- ELECTRICAL EQUIPMENT. REFER TO ELECTRICAL.
- FURNISH AND INSTALL VESTIB OVERHEAD TRACK PROTECTOR - 24 1/4" HIGH = MODEL #DSP-24 FROM NORTHERN TOOL & EQUIPMENT. SECURELY MOUNT TO FLOOR (EACH SIDE OF DOOR) TO COVER/ PROTECT VITECTOR ELECTRONIC EYES AND LIFTECH EQUIPMENT WITHOUT BLOCKING SIGHT LINE.
- ROUTE LUBE BAR LINES DOWN IN SHAFT TO TANKS IN LUBE PIT.
- PROVIDE SEALED/ COLORED CONCRETE APRONS IN FRONT OF OVERHEAD DOORS. REFER TO CIVIL FOR EXTENT OF PAVING AND FINISH MATERIAL.
- EXTEND FLOOR FINISH (F-1) TO OUTER EDGE OF SLAB @ BAY DOORS.
- PROVIDE PVC SLEEVE ROUTED THROUGH CONCRETE SIDEWALK AND WALL FOR SERVICE BELL RINGER HOSE. COORDINATE REQUIREMENTS WITH OWNER PRIOR TO SIDEWALK/ CURB INSTALLATION. SEE DETAIL 4/A1.1.
- PVC PIPE ROUTED THRU FLOOR SLAB TO LOWER LEVEL. LIP OF PIPE TO EXTEND 1" BELOW CEILING. TOP OF PIPE TO EXTEND 10" ABOVE SLAB. PROVIDE PVC CAP. REFER TO STRUCTURAL AND PLUMBING.
- PROVIDE 1 1/4" x 1 1/4" x 16 GA. STAINLESS STEEL CORNER GUARDS OVER FRP PANELS. GUARDS TO STOP AT TOP OF FRP. REFER TO DETAIL 2/A-1.2.
- MECHANICAL DUCT. REFER TO MECHANICAL.
- BLUE GUIDE SQUARE ON FLOOR - INTEGRAL WITH FLOOR FINISH. REFER TO FINISH NOTE "F" & PIT OPENING PLAN DETAIL 1/A-9.1.
- LOCATION OF SIGNAGE ABOVE. REFER TO EXTERIOR ELEVATIONS AND SIGN SCHEDULE.
- "OPEN" SIGNAGE. REFER TO EXTERIOR ELEVATIONS, SIGN SCHEDULE, AND ELECTRICAL.
- EXTERIOR ACCESS DOOR. REFER TO EXTERIOR ELEVATIONS & DOOR SCHEDULE.
- 2" Ø HOLE TO BE CORE DRILLED THRU FLOOR. G.C. TO COORDINATE LOCATIONS WITH OWNER.
- ROYAL BLUE STRIPE INTEGRAL WITH FLOOR FINISH. REFER TO FINISH NOTE "F" & PIT OPENING PLAN DETAIL 1/A-9.1.
- SLOPE CONCRETE TOPPING APPROXIMATELY 30° Ø AROUND FLOOR DRAIN (TYP.). SLOPE OF CONCRETE SHALL NOT EXCEED 1:48
- 3/4" PLYWOOD ON ENTIRE WALL. PAINT PT-1 (BY G.C.).
- AIR PRESSURE SHUT OFF VALVE LOCATION FOR AIR COMPRESSOR.
- AIRLINE PEDESTAL (BY OWNER).
- LINE OF METAL AWNING/CANOPY ABOVE. REFER TO DETAIL 5/A-5.2
- INSTALL FIXED ALUMINUM ROOF ACCESS LADDER AND ROOF SCUTTLE AND LADDER UP SAFETY POST. INSTALL 5/8" PLYWOOD BEHIND ROOF ACCESS LADDER. SEE DETAIL 7/A-2.1. COORDINATE WITH STRUCTURAL DRAWINGS.

GENERAL NOTES

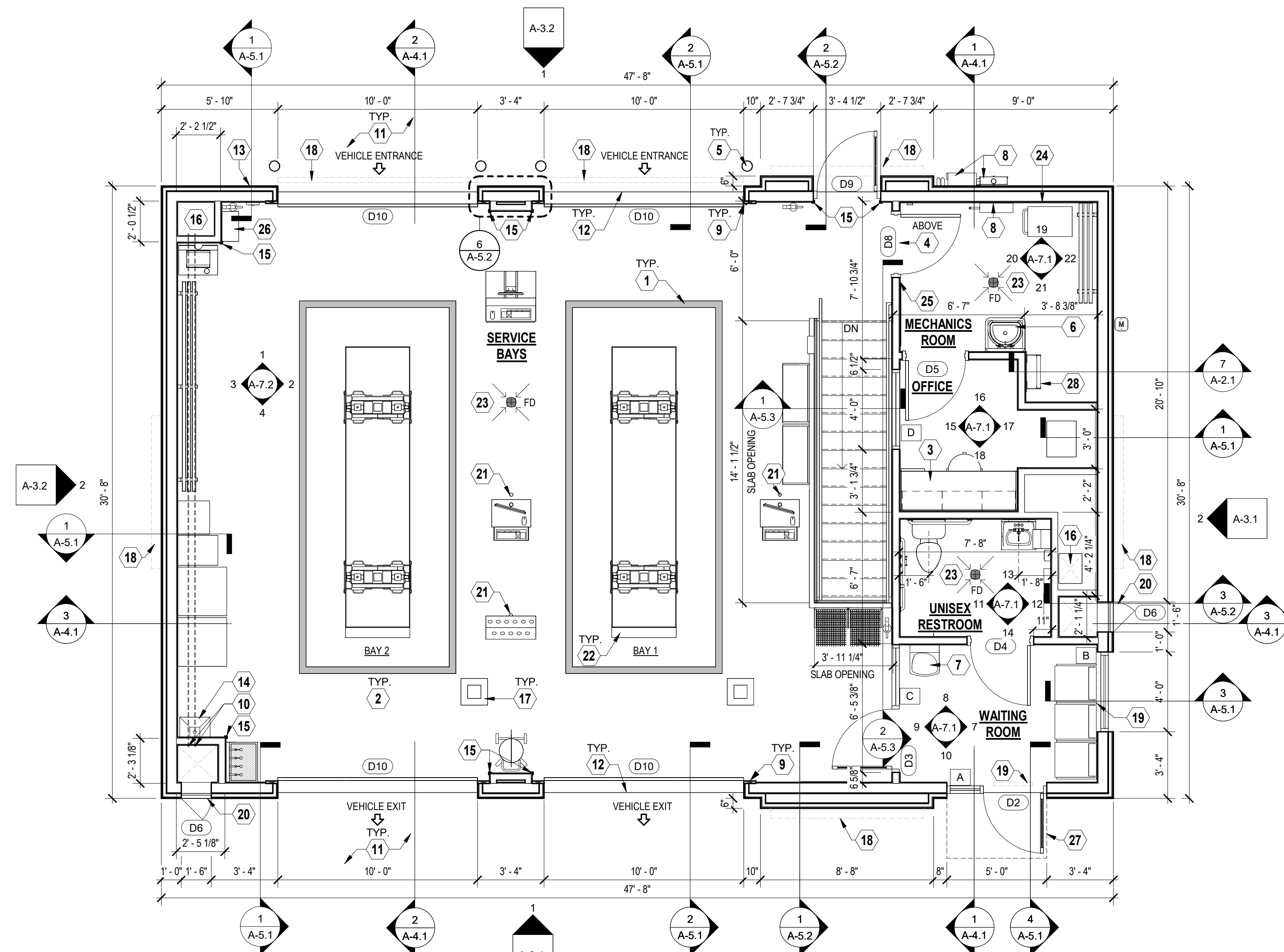
- INTERIOR WALL SEPARATING THE SERVICE BAYS FROM THE WAITING/RESTROOM/OFFICE/MECHANICS ROOM AND INTERIOR WALLS SURROUNDING THE RESTROOM, OFFICE AND MECHANICAL ROOM SHALL BE PROVIDED WITH SOUND BATT INSULATION FOR THE FULL HEIGHT OF THE WALLS. VAPOR BARRIER IS NOT REQUIRED IN THESE WALLS.
- ALL EXTERIOR WALLS AND ROOF SHALL BE PROVIDED WITH INSULATION TO ACHIEVE A COMPLETELY INSULATED THERMAL ENVELOPE AS REQUIRED - REFER TO SHEET A-4.1. PROVIDE VAPOR BARRIER PER LOCAL CLIMATE REQUIREMENTS.
- ALL GYPSUM BOARD IN SERVICE BAYS SHALL BE 5/8" HIGH ABUSE FIRE SHIELD BY NATIONAL GYPSUM.
- ALL WALLS EXTENDING TO UNDERSIDE OF PLYWOOD ROOF SHEATHING SHALL BE BRACED TO STRUCTURE AS REQUIRED. PROVIDE NECESSARY BLOCKING FOR STABLE, SECURE INSTALLATION.
- REFER TO SHEET G-3.1 FOR EQUIPMENT SCHEDULES AND LOCATIONS.
- DIMENSIONS FOR INTERIOR WALLS ON PLANS ARE TO ROUGH FRAMING (U.N.O.) EXTERIOR DIMENSIONS ARE TO FINISHED SURFACES AND OPENINGS.
- REFER TO STRUCTURAL FOR FLOOR PENETRATION LOCATIONS
- POLYETHYLENE VAPOR BARRIER TO BE USED ON WALL/ CEILING APPLICATIONS WHERE UNFACED BATT INSULATION IS USED.

KEY TO WALL TYPES

EXTERIOR WALL: EXTERIOR FINISH, OVER AIR/MOISTURE BARRIER, OVER PLYWOOD SHEATHING (PER STRUCTURAL), OVER 2x6 WALL STUDS (TYPE & SPACING PER STRUCTURAL). PROVIDE 5/8" HIGH ABUSE GYPSUM WALL BOARD ON INTERIOR FACE OVER POLYETHYLENE VAPOR BARRIER. INSULATE STUD CAVITY WITH BATT INSULATION.

INTERIOR WALL: 2x4 STUDS @ 16" O.C. (UNLESS OTHERWISE NOTED) w/ P.T. SKILL PLATE AND DOUBLE TOP PLATES w/ 5/8" GYPSUM BOARD EACH SIDE. EXTEND WALL AND SECURE TO STRUCTURE. INSULATE STUD CAVITY WITH SOUND BATTS WHERE NOTED. INTERIOR WALLS IN THE LOWER LEVEL SHALL EXTEND UP TO THE UNDERSIDE OF THE METAL FLOOR DECK. INTERIOR WALLS AT THE UPPER LEVEL SURROUNDING THE SERVICE BAYS AND MECHANICS ROOM SHALL EXTEND UP TO THE UNDERSIDE OF THE PLYWOOD ROOF SHEATHING. ALL OTHER INTERIOR WALLS AT THE UPPER LEVEL SHALL EXTEND UP TO 6" ABOVE THE ACT CEILING.

NOTE: REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.



1 FLOOR PLAN - UPPER LEVEL
A-1.2 Scale: 1/4" = 1'-0"



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ARW

QUALITY CONTROL

MC

DRAWN BY

RLD

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EXTRA LINE

EXTRA LINE

PROJECT NUMBER

SHEET NAME

FLOOR PLAN -

UPPER LEVEL

SHEET #

A-1.2

PROJECT NAME

CITY, ST.

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ELEVATION NOTES

- EIFS SHALL BE DRYVIT, CLASS PB DRAINAGE SYSTEM WITH FLUID APPLIED WATER RESISTIVE BARRIER BEHIND INSULATION BOARD.
- SIGNAGE SHOWN ON THESE ELEVATIONS IS FOR GENERAL REFERENCE PURPOSES ONLY. ALL SIGNAGE SHALL BE APPLIED FOR & PERMITTED UNDER A SEPARATE SIGNAGE SUBMITTAL.
- G.C. SHALL PROVIDE BLOCKING IN STUD WALL BEHIND EACH SIGN AS REQUIRED BY SIGN VENDOR - FIELD VERIFY REQUIREMENTS W/ VENDOR & OWNER'S REPRESENTATIVE.
- ALL FLASHING, SOFFIT, FASCIA, BREAK METAL, ETC SHALL MATCH MANUFACTURER'S STANDARD DETAILS.
- ALL MASONRY WITH CORNER EXPOSURES TO HAVE SAME PROFILE AS FACE OF THE STANDARD MASONRY PRODUCT. NO CUT SURFACE ARE TO BE EXPOSED
- ALL EXTERIOR SECURITY CAMERAS SHALL BE INSTALLED OVER ELECTRICAL BOXES RECESSED FLUSH WITH THE EXTERIOR WALL FINISH - REFER TO ELECTRICAL FOR ADDITIONAL INFORMATION.

EXTERIOR FINISHES

EXPOSED CONCRETE:	RUBBED FINISH
THIN BRICK SYSTEM:	MODULAR PANEL SYSTEM WITH INTEGRAL DRAINAGE THIN BRICK #1: GLEN-GERY "MODULAR BAXTER BROWN WIRECUT" THIN BRICK #2: GLEN-GERY "MODULAR MT RUSHMORE"
MORTAR:	LEHIGH STANDARD KIT - "BEIGE"
MASONRY SEALER:	ALL MASONRY SURFACES SHALL BE TREATED W/ SEALER.
EXTERIOR INSULATED FINISH SYSTEM:	DRYVIT (SANDPEBBLE FINE) COLOR #1: #113 AMARILLO WHITE
PREFABRICATED METAL CANOPY:	AWNEX INC. - "SEATTLE" DESIGN PREFINISHED TO MATCH PAC-CLAD "SILVER"
PARAPET CAP FLASHING:	ALUMINUM BREAK METAL PREFINISHED TO MATCH PAC-CLAD "SILVER"
TOWER SOFFIT AND FASCIA:	PAC-CLAD SNAP EDGE EXTENDED FASCIA (12-1/2") PREFINISHED TO MATCH PAC-CLAD "SILVER"
THRU-WALL SCUPPER:	ALUMINUM BREAK METAL PREFINISHED TO MATCH DIMENSIONAL METALS, INC. - "BEIGE"
STOREFRONT SYSTEM:	2x4 1/2" KAWNEER TRIFAB VG 451T SERIES CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM W/ 1" INSULATED GLAZING.
O.H. DOOR FINISH:	CLEAR ANODIZED ALUMINUM
ACCESS PANEL:	STAINLESS STEEL

SIGNAGE SCHEDULE

NUMBER	DESCRIPTION	SIZE	ILLUMINATED	QUANTITY
600	LOGO SIGN PROVIDED BY OWNER, INSTALLED BY SIGN CONTRACTOR	7'-8" x 5'-11" (45 SF)	INTERNALLY	4
601	LANE INDICATOR SIGN PROVIDED BY OWNER, INSTALLED BY SIGN CONTRACTOR	10'-0" x 1'-0" (10 SF)	NO	2
602	OPEN SIGN PROVIDED BY OWNER, INSTALLED BY SIGN CONTRACTOR	2'-7 1/2" x 11 1/2" (2.52 SF)	INTERNALLY	2
603	ADDRESS SIGN PROVIDED AND INSTALLED BY G.C.	VERTICALLY BRUSHED STAINLESS STEEL ADDRESS NUMBERS - 10" TALL ARIAL BOLD FONT	NO	1
605	MONUMENT SIGN PER LOCAL AND DEVELOPMENTAL RESTRICTIONS	REFER TO SHEET A-11.1	INTERNALLY	1

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INSTANT
OIL CHANGE**

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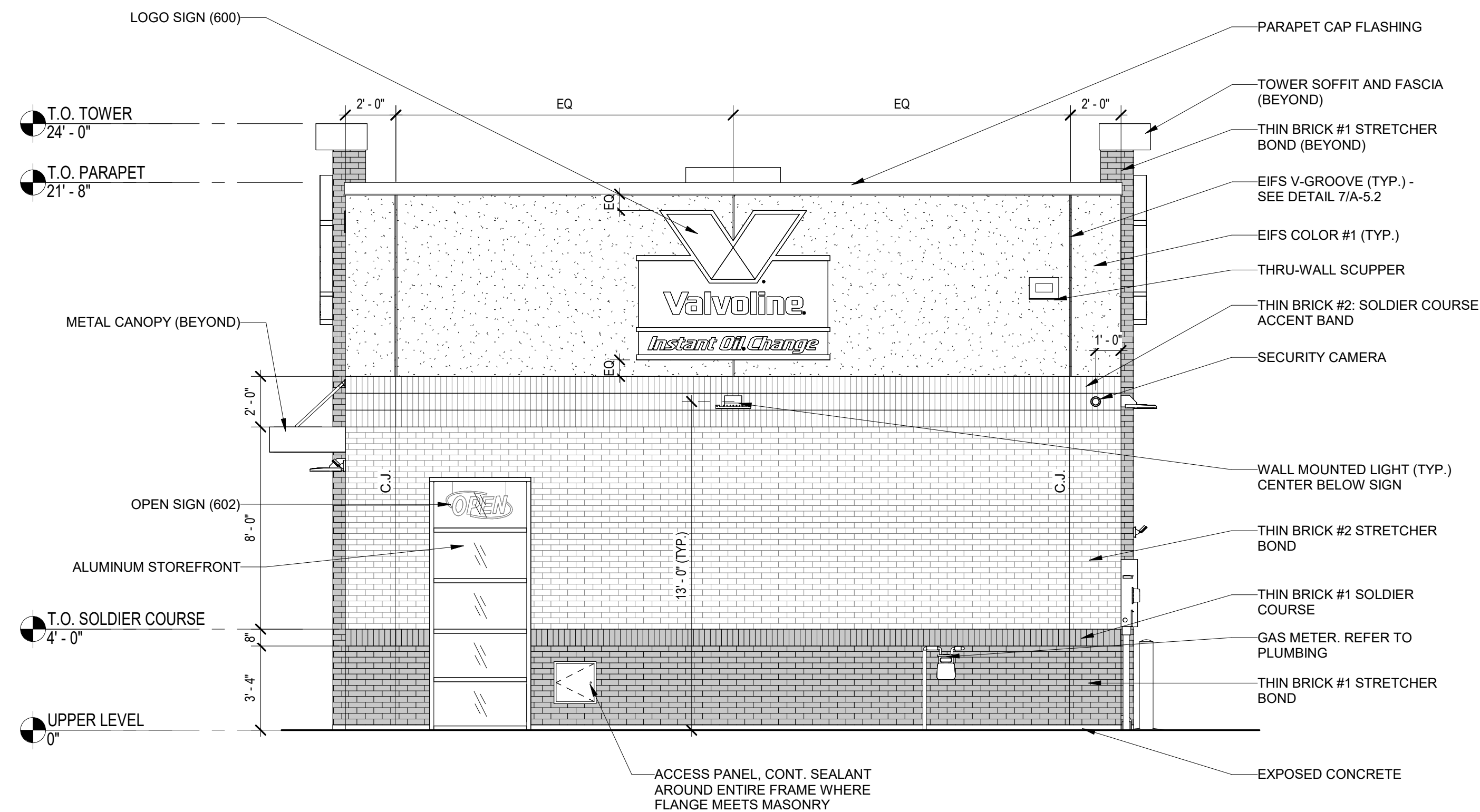
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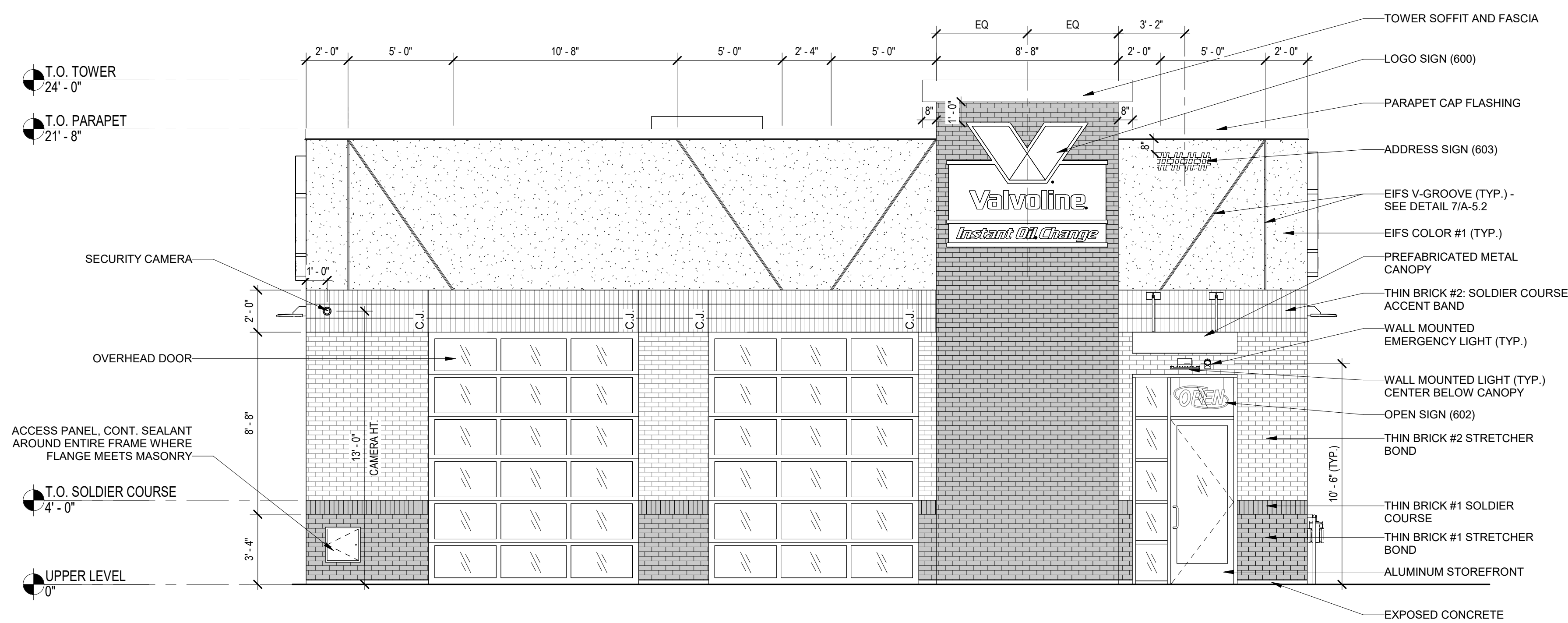
EXTERIOR
ELEVATIONS

SHEET #

A-3.1



2 EXTERIOR ELEVATION (OVERALL RIGHT)
A-3.1 Scale: 1/4" = 1'-0"



1 EXTERIOR ELEVATION (OVERALL FRONT)
A-3.1 Scale: 1/4" = 1'-0"

ELEVATION NOTES

- SEE SHEET A-3.1 FOR ELEVATION NOTES.
- SEE SHEET A-3.1 FOR EXTERIOR FINISHES.
- SEE SHEET A-3.1 FOR SIGNAGE SCHEDULE.

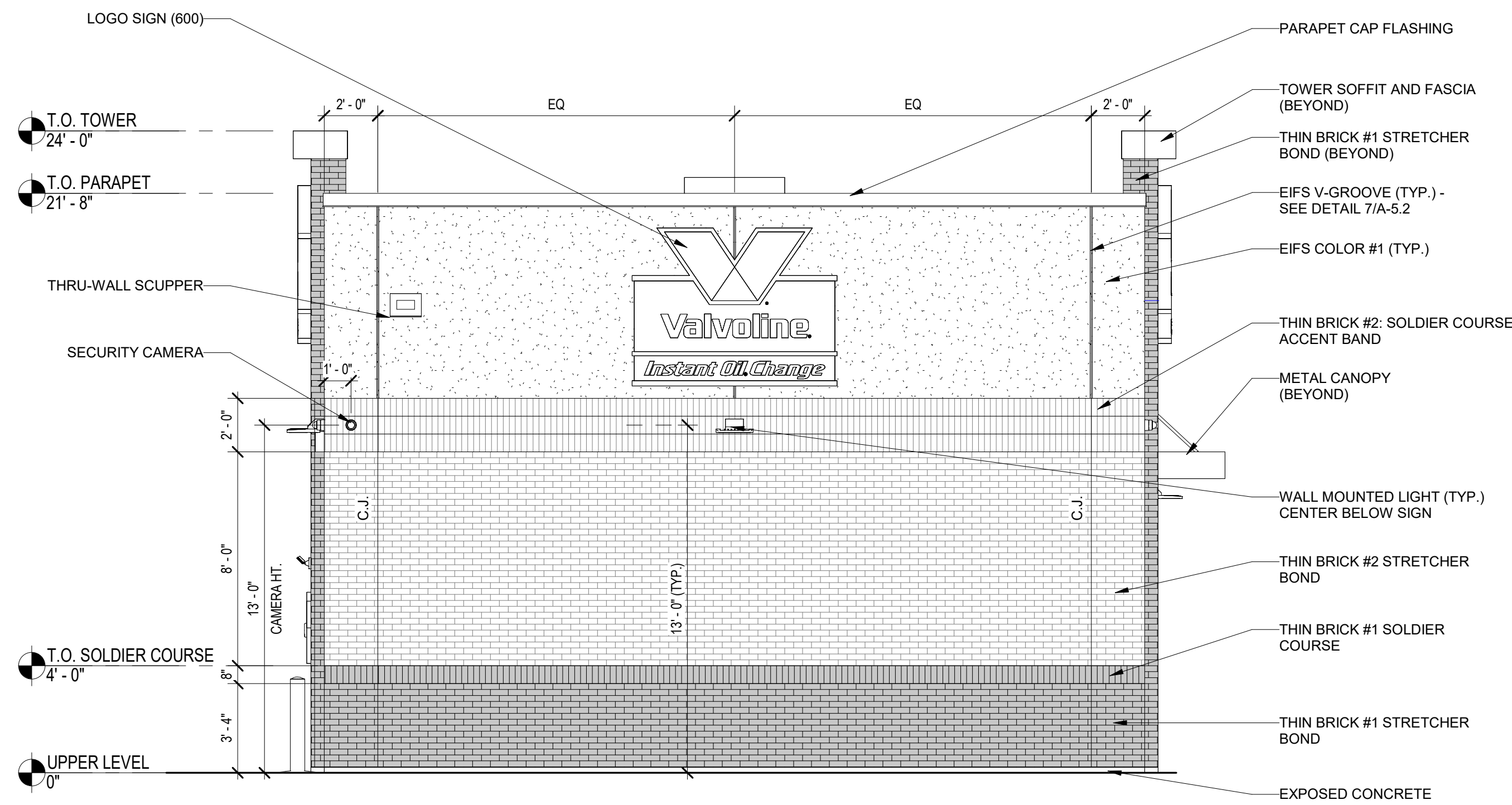


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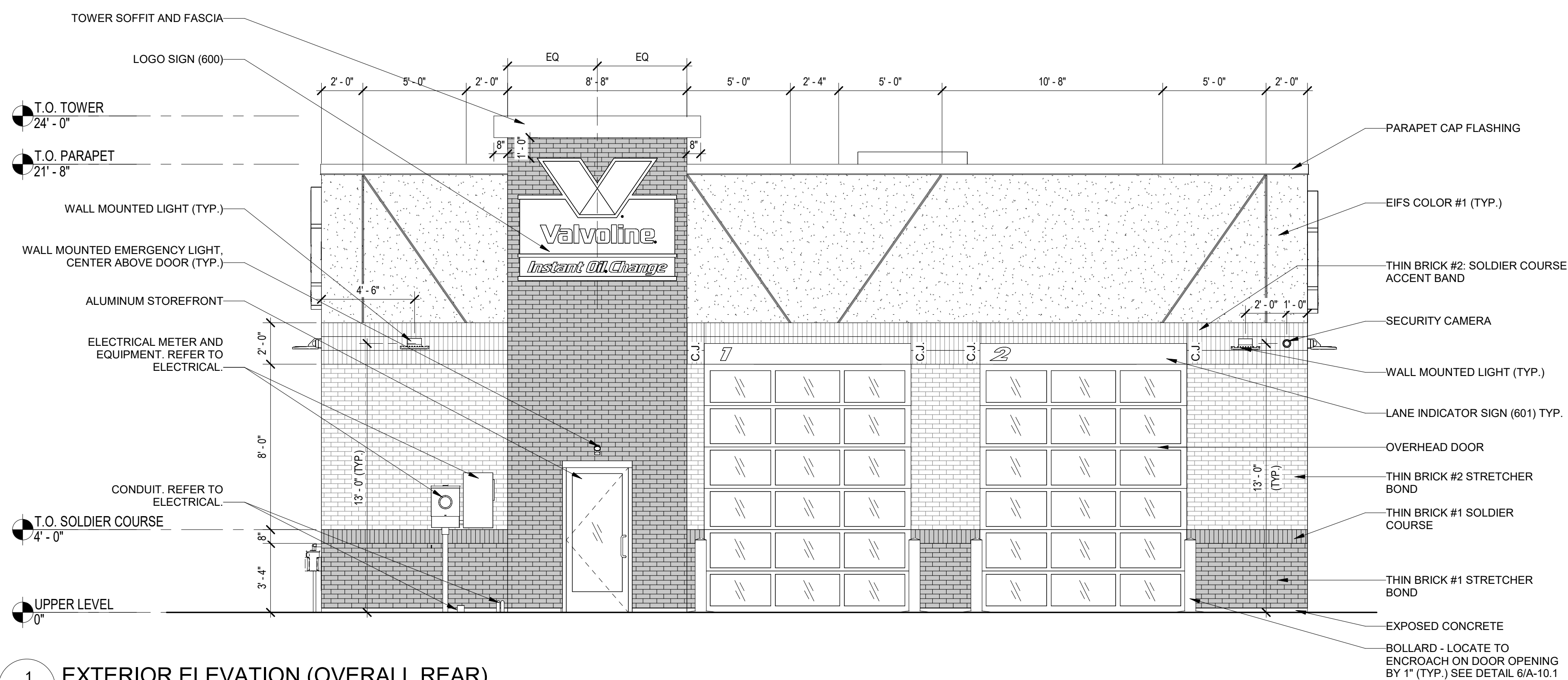
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2 EXTERIOR ELEVATION (OVERALL LEFT)

A-3.2 Scale: 1/4" = 1'-0"



1 EXTERIOR ELEVATION (OVERALL REAR)

A-3.2 Scale: 1/4" = 1'-0"

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INSTANT
OIL CHANGE**

PROJECT NAME
CITY, ST.
EXTRA LINE
EXTRA LINE

PROJECT NUMBER

#####

SHEET NAME

EXTERIOR
ELEVATIONS

SHEET #

A-3.2