



OFFICIAL NOTICE AND AGENDA

of a meeting of a City Board, Commission, Department, Committee, Agency, Corporation, Quasi-Municipal Corporation, or Sub-unit thereof.

Meeting: ZONING BOARD OF APPEALS
Members: Nancy Hoffmann, David Burke, Mark Dillman, Dave Oberbeck, Jerry Jarosz, Nan Giese (Alternate), Arlene Kaatz (Alternate)
Location: Council Chambers at City Hall, 407 Grant Street
Date/Time: **Wednesday, May 17, 2023, at 4:00 p.m.**

AGENDA ITEMS FOR CONSIDERATION

1. Approve the minutes of the March 15, 2023, and April 12, 2023, meeting.
2. **PUBLIC HEARING:** Joe Kafczynski, Becher Hoppe, on behalf of Wausau Water Works, seeking a setback and building height variance for drinking water treatment building, at **800 Bugbee Ave / 1801 Burek Ave.**
3. Adjournment

Committee Chairperson: Nancy Hoffmann

Questions regarding this agenda may be directed to the Division of Inspection and Zoning at 715.261.6780 or inspections@ci.wausau.wi.us

This notice was posted at City Hall and emailed to the Wausau Daily Herald Newsroom on 05.09.23 12:00pm

*In accordance with the requirements of Title II of the Americans with Disabilities Act (ADA), the City of Wausau will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. If you need assistance or reasonable accommodations in participating in this meeting or event due to a disability as defined under the ADA, please call the **Inspections Department at (715) 261-6780** or e-mail clerk@ci.wausau.wi.us at least 48 hours prior to the scheduled meeting or event to request an accommodation.*

List of Others this Agenda was Distributed to: Wausau Daily Herald, Alderpersons, Mayor, City Attorney, City Clerk

BOARD OF ZONING APPEALS

Time and Date: Wednesday, March 15, 2023, at 4:00 p.m. in the Council Chambers at Wausau City Hall
Members Present: Nancy Hoffmann, Mark Dillman, David Burke, Dave Oberbeck, Jerry Jarosz
Members Absent: Nan Giese (Alternate) Arlene Kaatz (Alternate)
Others Present: William Hebert

In compliance with Chapter 19, Wisconsin Statutes, notice of this meeting was posted and transmitted to the *Wausau Daily Herald* in the proper manner.

Nancy Hoffmann called the meeting to order at approximately 4:00 p.m. and a quorum was present.

Approve the minutes of September 21, 2022

Dillman motioned to approve the minutes of the September 21, 2022, meeting. Burke seconded, and the motion carried unanimously 5-0.

Hoffmann opened the public hearing.

ITEM #1. Brian Winterle of Nexus Solutions, representing the Wausau School District, seeking variance for lighting poles at multiple fields and courts at Wausau East High School.

Winterle stated the fields and court they are seeking a variance for is the tennis courts, multipurpose field, softball, and baseball fields that were all designed and installed in 2002. With half of the lights, they are in violation of the ordinance, which they understand was adopted in 2020. The baseball field complies. The softball field is to the north and has a wooded property line and there are no neighbors but there is 1 light that does not meet the ordinance. The multi-use field has 2 lights to east of the road that are also in violation of the ordinance.

Hoffmann questioned if that is the total of the lights. Winterle explained the tennis courts have 3 to the west of the street that do not meet the ordinance due to the height of the lights. All of these were designed by Musco, which is one of the most used manufacturers for athletic lighting. They perform the calculations, and they keep the lighting in compliance for High School competitive play.

Burke questioned what kind of usage the fields and lighting system has in a week or can it be calculated by the day. Jason Foster, activities director at Wausau West. Specifically, to Wausau West and the spring sports season starts when baseball and softball start playing. On average they play 2 games a week and start late March through the end of school year late May or early June. The Wausau Youth Softball league is played 2-3 nights a week through out summer at Wausau West. Typically, those games are over prior to a time needing lights.

Dillman questioned how many watts of energy at Wausau East when you turn everything on? Winterle referenced the photometric light levels. Which they are striving to hit the zero-foot candle spill over, at any horizontal surface past the property line. Dillman questioned if he sees 51.6 kilowatts for the tennis courts. Winterle stated that seems low, and they are led lights which will use less wattage than the typical high output fixture.

Hebert explains that on the GIS map, the baseball and softball fields, the neighbors are the radio station towers and woods to the north. The multipurpose field has 1 neighboring house, and some natural area. Regarding the tennis courts they are not lighting the whole court, the ones that need a variance are on the eastern edge next to the parking lot. (This was later clarified by Wausau East staff during the meeting, the entire tennis courts will be lighted).

Kurt Vanden Huevel, Activities Director at Wausau East, is speaking for the lights. Once night break comes, those facilities become unusable. The band would have the opportunity to utilize the facilities and march with lines and gradience. There would be several opportunities for tournaments and those would be enhanced with lighting. The ability to play under the lights would bring interest in youth and or high school tournaments. Some of the requirements with WIAA to host the regional or sectionals are lighting at those facilities. Night break is considered dusk. What they are currently struggling with is, as the season runs later into fall, dusk starts earlier so they are not getting all the innings completed within a game and it leads to cutting games short.

Hebert added that another part of the ordinance is cutting off the light spillage at the property line, which they can meet. Accordance to the zoning code these lights would need to be shut off by 10:00 at night.

Burke questioned are the lights required to be on through out the entire game, regardless of illumination. Vanden Huevel explained If the game starts at 1:00 or 2:00 you don't have to have the lights on.

Foster explained that they play their football games at Thom Field and normal football games are over by 9:00 pm the latest. There has been a situation or two where there was a weather delay, and they still had the lights on 11:30 pm but that certainly is not the norm. The games would start 6:00 or 7:00 and be about 2 hours, the games would be done by 9:00. Knowing that is part of the code those are things they would take into consideration if there were extra innings, or the game needs to be called.

Winterle stated at West the baseball would be 46kw, Softball 20kw less than 1kw of security lighting.

Burke asked what time of day are they going to be illuminated? Winterle stated it is a manual or a photometric setting, they wouldn't turn on any earlier than needed. Vanden Huevel stated that the facility director has access to the light schedule.

Hoffman closed the public hearing.

Jarosz asked Hebert if the ordinance was put in 2020 and what was the reason for the ordinance? Hebert stated it is a templated ordinance that was customized and done for the City of Wausau. The previous code was silent on lighting poles and if they would have done it in 2019, we wouldn't have been able to regulate them. If they had the opportunity with the original acreage, they would be able to design or accommodate the setbacks. Now we are trying to retro fit the fields where there is infrastructure in and press boxes etc.

Jarosz asked if the ordinance put in to protect the neighbors from late night lighting? Hebert stated the lighting is not the issue and there is not any spill over which they can direct better than they ever could. The setback is in there, but he cannot tell you exactly why it is in the ordinance.

Winterle stated he has the calculations if needed. Tennis would have 51,000 watts of energy with a combined total for multipurpose East and East softball baseball would be 127,000 watts. Dillman asked how many watt lightbulbs are there when they are turned on? Hebert added that only 1 field will be on at a time. Winterle said it would be almost 1800 one-hundred-watt lightbulbs.

Hebert discussed along with Winterle the poles that would need the variance at the Wausau East fields or courts.

Oberbeck motioned to approve the setback variance for the field and court lighting poles located at 2606 N 18th St, 2607 N 18th St, and 1608 Brown St. Jarosz seconded. Motioned carried 5-0

Hoffman opened the public hearing.

ITEM #2. Wausau School District regarding the field lighting poles at Wausau West High School located at 1300 N 10th Ave.

Winterle explained that the variance would apply to the varsity baseball and softball fields shown on the map. Discussion regarding the locations of the lighting poles on the maps and the ones that are needing the variance. Winterle explained all four of the lights at the varsity softball field are in violation.

Winterle stated for softball there would be 19 kw or 194, 100-watt lightbulbs and baseball would be 45 kw or 454, 100-watt lightbulbs.

Foster states that when they get on the fields it is late April hopefully, or maybe mid-May. Currently they must start their games at 5 o'clock just because they don't have lights. This gives them the opportunity to start at 6:00 or 6:30. Average baseball game would go for 2 hours and be done 8:00 or 8:30. Same thing with softball and those games go quicker which they would be done 7:30 or 8:00. During the summertime they would make sure the lights were complying with the ordinance and the lights are off by the proper times. At Wausau West they currently do not have enough players in their baseball program to play all levels on one night. Currently they play a double header on one night to get the games in and often those games get cut short. If they can have lights and extend it by a half hour, they would be able to get the full seven inning games in. Giving the community youth the opportunity for use as well.

Hoffman closed the public hearing.

Oberbeck questioned because they are athletic lighting, they are very controlled? Winterle clarified that LED is very directional and some of the lights have cutoffs to prevent any spillage. They looked at lowering the lights but if they are too low, they would get into the eyes of the batter.

Motion to approve as requested by Dillman and seconded by Oberbeck. Motion carried 5-0

Adjournment

The meeting was adjourned at 4:40 pm.

JOINT BUILDING ADVISORY BOARD AND BOARD OF ZONING APPEALS

Time and Date: Wednesday, April 12, 2023, at 4:00 p.m. in the Council Chambers at Wausau City Hall
Zoning Board Members Present: Nancy Hoffmann, Mark Dillman, Dave Oberbeck, Jerry Jarosz
Building Advisory Members Present: Eric Lindman, Buckley Birkholz, Mark Dillman, Frank Opatik, Tom Kilian, Doug Diny
Others Present: William Hebert, Brian Stahl

In compliance with Chapter 19, Wisconsin Statutes, notice of this meeting was posted and transmitted to the *Wausau Daily Herald* in the proper manner.

Eric Lindman called to order the Building Advisory Board. 4:00 pm.

Nancy Hoffmann called the Zoning board meeting to order at approximately 4:00 p.m. and a quorum was present.

Hoffmann opened the public hearing.

James Wadinski seeking approval for the construction of a 32X32 detached garage with a setback variance at 1130 Brown St. Wausau.

James Wadinski, 1130 Brown St, 32x32 Garage on the Northeast section of his property. The property is one of the larger ones in the area and already has an access driveway to that location. He is requesting that size garage for storage of collector cars and a couple of utility trailers. The collector cars are sentimental and wants to be able to store them on his property. The utility trailers would then be out of sight which would enhance the neighborhood. He is looking to position the garage with a minimum of 16 feet from the east property line. It would reduce the number of trees that would have to be taken down and keep the drainage consistent for the property.

Dillman stated that the corner side yard is 15 feet for this neighborhood and the issue is the main structure was built at 24 feet. Hebert clarified that the code requires the detached structure needs to have the same setback as the primary structure. So, it is supposed to be 24 feet. Wadinski states he doesn't know what the requirement was at that time they built the house. They put the house on the property to make it look good and to accommodate the slope of the property. The neighbors to the north have a 6-foot fence which is approximately 15 feet off the lot line. The garage plan would coincide with that and wouldn't stick out past their fence.

Wadinski states that he needs 32 x 32 for the 2 trailers and an extra car to fit. It's going to be mainly for winter storage and to keep the cars inside in the summer. Collector cars you don't drive very often, so you keep them where you can and to keep property uncluttered. Floor space would be for vehicles and the upstairs would be for small storage items.

Hoffman states that he already cut down several of the trees. Wadinski states the city forester recommended the trees to be removed because they were ash trees, and the ash borer was a block away from his house. If the garage was approved there would be 2 or 3 more trees that would have to come down. He is going to be keeping some of trees that are to the west.

Hoffman questioned you already have a 4-car garage? Wadinski answered yes.

Jerry Jarosz is a neighbor and Jim has always kept a very neat place. Jarosz is very confident with what would be built there is going to fit well, because Jim likes to take care of his property. As a neighbor to the north of him, once the leaves on the trees come up, there is nothing to see. It will clean up the neighborhood, just as he's speaking.

Hoffman closed the public hearing.

Hebert stated we did not receive any public comments, emails or calls about this property. It is the largest lot on this block and in this area. You want to keep it as far to east as possible just because of the grade. He is going to have some challenges trying to get water to go around and away from the garage. If he went any further west, it would just be more fill and changing the natural grade.

Discussion and possible action for the Building Advisory Board on the 32 x 32 detached garage at 1130 Brown St, Wausau

Building Advisory Board motion to approve as requested by Birkholz and seconded by Opatik. Motion carried 6-0
Zoning Board of Appeals motion to approve as requested by Dillman and seconded by Oberbeck. Motion carried 4-0

The meeting was adjourned at 4:15 pm.



STAFF REPORT

To: Zoning Board of Appeals

Prepared By: William Hebert, Zoning Administrator & Chief Inspector

Date: May 9, 2023

GENERAL INFORMATION

APPLICANT: Joe Kafczynski, Becher Hoppe on behalf of the City of Wausau, Wausau Water Works

LOCATION: 1801 N. Burek Ave.

EXISTING ZONING: Institutional

PURPOSE: Expansion of Water Treatment Plant

EXISTING LAND USE: Fresh water treatment facility

SIZE OF PARCEL: 10 acres

VARIANCE BEING REQUESTED:

The City of Wausau and Wausau Water works is expanding the freshwater treatment facility. The city owns land to the north which is in the Village of Maine. The municipal line is a property line as well. The proposed setback is 23.9 feet, the required setback is 25 feet.

An additional variance is being requested for the maximum building height. The maximum building height is 35 feet from grade. In some cases, the building height will be up to 38 feet 8 inches.

Due to the layout of the existing treatment plant, the PFAS treatment addition is required to be placed on the north end of the site. The city is the owner of the land to the north and will remain the owner. The reduced setback is of no concern.

Regarding building height, the existing floor elevation of the plant dictates where the floor elevation will be for the new building. The general grade of the site lowers as it goes to the north. The extra couple of feet in height will have no impact on neighboring properties and the fire department can adequately serve the building with the minimal height difference. If this property was zoned industrial the building height could be 50 or 60 feet by right.

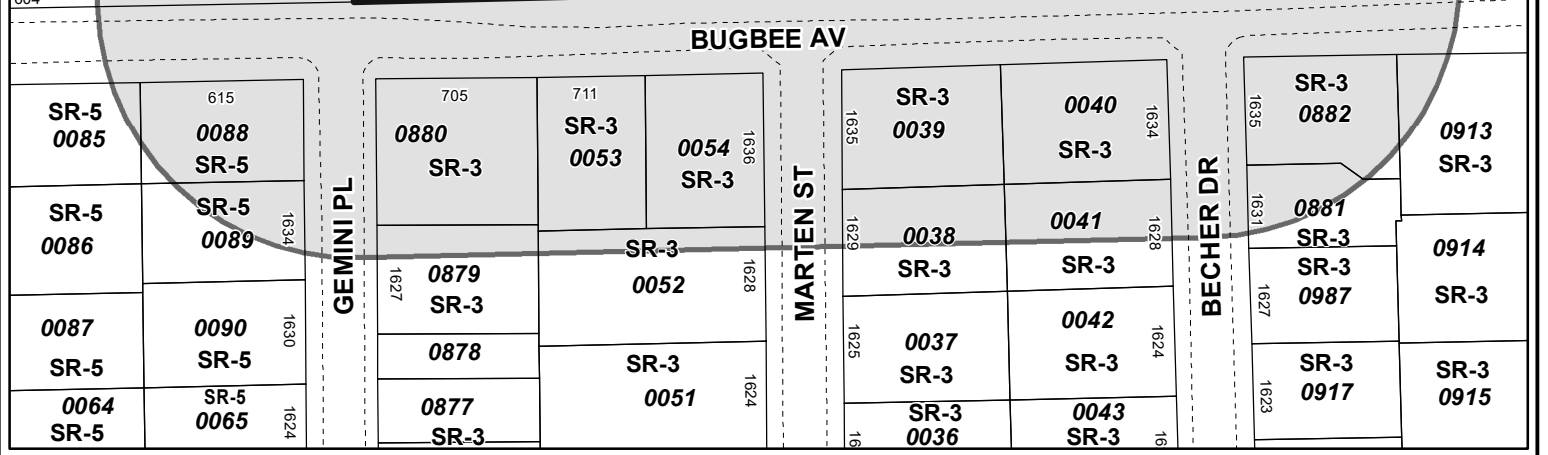
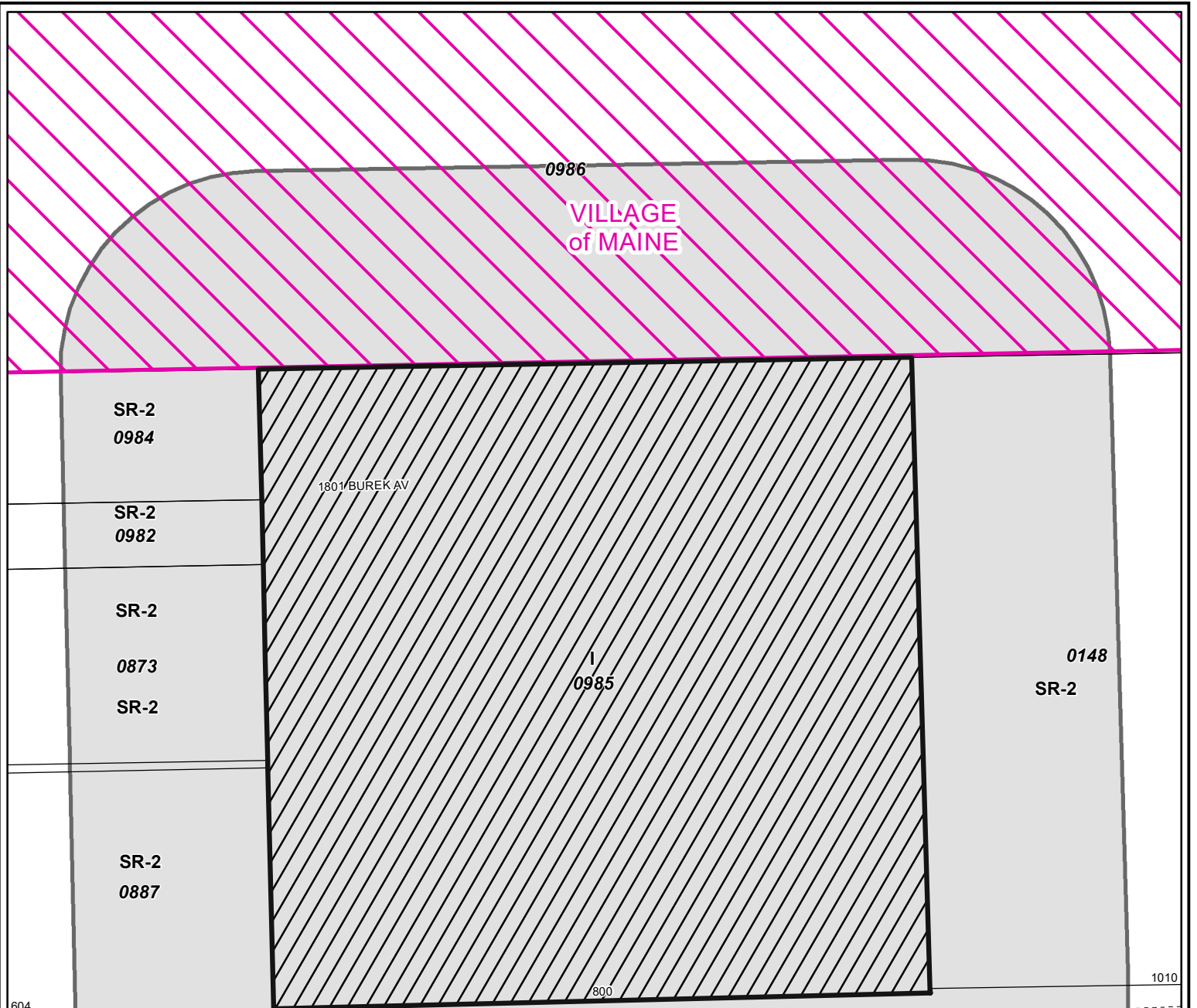
CONSIDERATIONS

1. Evaluate whether the request is in harmony with the Comprehensive Plan or other relevant plans.
2. Evaluate the request based upon the criteria used by the Zoning Board of Appeals in their review. Would it be a hardship or practical difficulty to meet the zoning code requirements, due to the physical surroundings, shape, or topography of the property.

POSSIBLE ACTION

- Approve as proposed
- Approve with amendments
- Deny

Staff recommends approval.



Wausau Wisconsin

Map Date: May 10, 2023

City of Wausau
Marathon County Wisconsin

0 50 100
Feet

Area of Interest
 200ft Buffer

Map Location



CITY OF WAUSAU
DEPARTMENT OF INSPECTION AND ZONING
 City Hall, 407 Grant Street, Wausau, WI 54403-4783
 (715) 261-6780 / fax (715) 261-4102

ZONING BOARD OF APPEALS APPLICATION

KEY #: 291-2907-242-0985

PROPERTY ADDRESS: 1801 N Burek Ave
~~1805~~ N. Burek Ave.

OWNER/AGENT: City of Wausau - Wausau Water Works - Water Department PHONE #: 715-261-6530

MAILING ADDRESS: 407 Grant Street EMAIL: waterworks@ci.wausau.wi.us

CITY: Wausau STATE: WI ZIP: 54403

VARIANCE STANDARDS

State law sets three standards for granting a zoning variance. Applicants must provide evidence to the Zoning Board that their situation meets **all three of the required standards** for a variance to be granted.

- Unnecessary Hardship:** Application of the zoning ordinance to a site must cause unnecessary hardship for a variance to be granted. The property owner must demonstrate that compliance would unreasonably prevent the owner from using the property for a permitted purpose or would render conformity with such restrictions unnecessarily burdensome.

Are you denied reasonable use of the property?	Yes: <u> x </u>	No: <u> </u>
Is your hardship self-imposed?	No: <u> x </u>	Yes: <u> </u>
Is your loss or hardship profit driven?	No: <u> x </u>	Yes: <u> </u>
Would a hardship exist in the absence of the code?	No: <u> x </u>	Yes: <u> </u>
Did the parcel pre-exist the code requirement?	Yes: <u> </u>	No: <u> x </u>

The hardship or difficulty shall be peculiar to the subject property and different from that of other properties, and not one which affects all properties similarly. Describe your specific hardship:

The property, zoned Institutional, is the new City of Wausau Drinking Water Treatment Facility. Some of the Cities drinking water wells were found to contain PFA/PFOA compounds and a new building at the site is being proposed to remove these compounds. The location of this proposed building does not meet two ordinance requirements: 1. 25 foot setback from nearest rear property line (23.9 feet) 2. Building height is greater than 35 feet (38 feet 8 inches from the finished ground elevation in some locations). The proposed building would be located on the North end of the existing facility as that is where it needs to be located due to its location within the water treatment process. The treatment of the water is accomplished by large pressure vessels that need to be located within a building structure. Locating this proposed building elsewhere would be burdensome to the water treatment process and a smaller structure would not be able to contain the proposed vessels.

Such a hardship or difficulty shall have arisen because of the unusual shape of the original parcel, unusual topography, or elevation. Describe your specific hardship:

The ground elevation of the property generally slopes to the North. This makes the area North of existing facility lower in ground elevation where the proposed treatment building would be located. The proposed building needs to have the same finished floor elevation as the existing treatment facility to avoid large changes in treatment system hydraulics. There are also tank overflows on existing treatment facility so the ground elevations can't be raised in these locations as they would not meet Wisconsin Department of Natural Resources code requirements which means there are locations on the proposed building that will be greater than 35 feet in height from the ground.

Prove why the parcel is not economically suitable for a permitted use, or will not accommodate a structure of reasonable design for a permitted use, if all area, yard, green space, setback, etc., requirements are observed:

The proposed location of the treatment building does not meet the rear of property (North) setback requirement of 25 feet (23.9 feet) from an adjacent property. The adjacent property is owned by the the City of Wausau. Moving the proposed building South will lessen the space in between the proposed and existing building creating accessibility issues for future maintenance. Maintenance includes, but is not limited to, snow removal, access to existing sand filters, and access to tank overflow piping.

2. Unique Property Limitations: Proof of unnecessary hardship includes the burden of proving "uniqueness". Describe the unique physical characteristics of the subject property that prevent you from developing in compliance with the zoning ordinance:

The property has unique limitations due to it having the drinking water treatment facility located on it. This is because any additional water treatment processes need to be located in accordance to where it falls the water treatment process. In this case, additional treatment for removing PFA/PFOA compounds requires an additional treatment process/building located to the North of the existing facility. The location of the proposed new treatment process is based on where it falls within the existing treatment process.

Other unique property limitations have been listed previously in the above provided spaces.

3. Public Interest: Describe why the grant of a variance is in the public's interest and why this is the minimum relief necessary for you to have reasonable use of your property:

The proposed new drinking water treatment building, for which a variance is being requested, is for the removal of PFA/PFOA compounds from the City of Wausau's drinking water which is in the publics best interest.

Attach a scale map of the subject property showing all lands for which the variance is proposed.

Attach a map showing the general location of the subject property within the City.

Attach a written description of the proposed variance.

REGARDING: City of Wausau PFA/PFOA Treatment Building SUBMITTED ON: _____

ZONING ADMINISTRATOR REVIEW: Date: _____ Application: Complete / Incomplete

WILLIAM D. HEBERT, BUILDING & ZONING ADMINISTRATOR

Notes:

This Zoning Boards of Appeals Application is being submitted by Joe Kafczynski of Becher-Hoppe Associates, Inc. on behalf of the City of Wausau, Wausau Water Works, Water Department.



330 N. 4th Street, Wausau, WI 54403-5417
715-845-8000 | becherhoppe.com

April 25, 2023

Via Email: William.Hebert@ci.wausau.wi.us

William D. Hebert, MPA
City of Wausau & City of Schofield
Division of Inspection, Zoning, & Electrical Systems
City of Wausau
407 Grant Street
Wausau, WI 54403

Subject: Wausau Drinking Water Treatment Facility PFAS Building Project – Variances and Zoning Board of Appeals Application

Dear William:

On behalf of the City of Wausau, Wausau Water Works, Water Department, enclosed herewith is a Variances and Zoning Board of Appeals Application for the proposed PFA/PFOA Treatment Building at the City of Wausau Drinking Water Treatment Facility.

The treatment building is proposed to be located on the North side of the existing drinking water treatment facility to best fit within the current water treatment process. Due to its proposed location and the property being zoned "Institutional", the proposed treatment building does not meet two ordinance requirements:

1. Minimum Rear Setback of 25 feet. The proposed setback is 23.9 feet.
2. Maximum Principal Building Height of 35 feet. The proposed height is 38 feet 8 inches from the finished ground elevations in some locations.

Relocating the proposed building to meet the rear setback would decrease the space between the proposed and existing buildings. This would create accessibility issues for maintaining existing sand filters, tank overflows, and snow removal. The designed height of the proposed building is required to house the pressure treatment vessels used to remove PFA/PFOA compounds. The height of the building is also increased due to the surrounding ground elevations and the need to maintain a finished floor elevation the same as the existing treatment building. The ground elevations can't be raised on some portions of the proposed building due to tank overflows on the existing treatment building which would not meet Wisconsin Department of Natural Resources NR Code requirements. Modifications to the proposed finished floor elevation would create changes in the treatment system hydraulics which would require additional pumping and piping.



330 N. 4th Street, Wausau, WI 54403-5417
715-845-8000 | becherhoppe.com

Due to these issues, the City of Wausau, Wausau Water Works, Water Department is requesting a variance for not meeting the code requirements for minimum rear setback and maximum building height.

Sincerely,

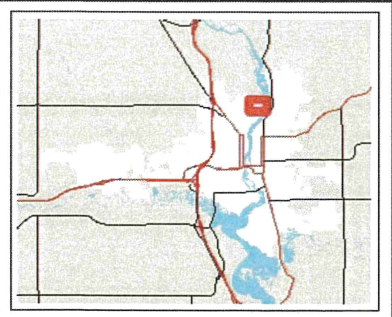
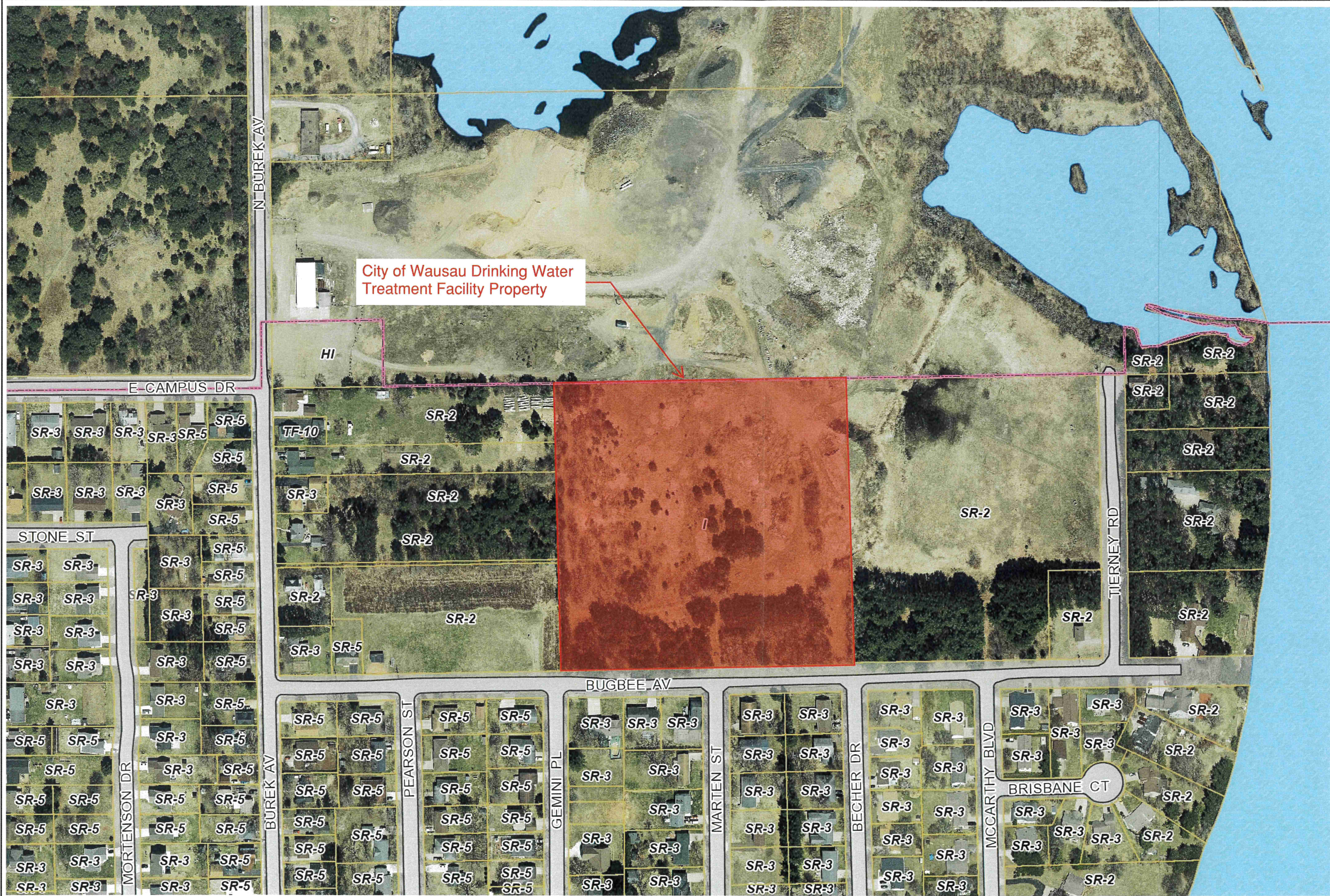
A handwritten signature in blue ink that reads 'Joe Kafczynski'.

Joe Kafczynski, PE
Project Engineer

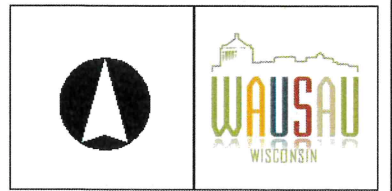
JRK

Enclosures

cc: Eric Lindman, Wausau Director of Public Works and Utilities *via email*
Scott Boers, Wausau Water Works Drinking Water Superintendent *via email*
Susan Wojtkiewicz, Donohue Engineers *via email*



- Legend**
- Parcel
 - Right Of Way
 - Railroad
 - Bridge
 - Overpass
 - Paved Road
 - Divided Highway
 - Right Of Way
 - Lake - Pond
 - River - Stream
 - Wausau Wetland
 - Swamp
 - 2020
 - Red: Band_1
 - Blue: Band_3
 - Municipal Boundary
 - Centerline
 - US Hwy
 - State Hwy
 - County Hwy
 - Local
 - + Railroad
 - Water
 - Municipal Boundary



Notes

Map Created: 4/10/2023

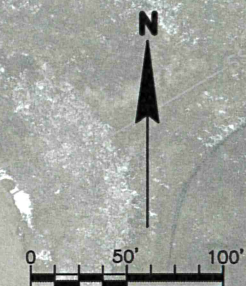
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THIS MAP IS NOT TO BE USED FOR NAVIGATION

P:\2021\2017.007 - C. of Wausau - Water Treatment - For Plan\CAD\Plan\PFAS_SHEETS\EXHIBIT\17007_002-C-001-PO.dwg



PLAN NOTES

1. CONTRACTOR ENTRANCE.
2. UNSUITABLE MATERIAL STORAGE LOCATION, COORDINATE FINAL LOCATION WITH OWNER/ENGINEER.
3. CONTRACTOR STAGING AREA.
4. CONTRACTOR TRAILER AREA.
5. STRUCTURE 410 FORCEMAIN DISCHARGE MANHOLE

STRUCTURE LIST

- 100 - PROCESS BUILDING
- 120 - PFAS TREATMENT BUILDING
- 310 - CLEAR WELL 1
- 320 - CLEAR WELL 2
- 410 - SANITARY LIFT STATION
- 500 - OPERATIONS AND MAINTENANCE BUILDING
- 550 - GENERATORS

GENERAL NOTES

1. BACKGROUND AERIAL IMAGE FROM DRONE FLIGHT ON 11/28/2022.
2. FINAL LOCATION OF ALL AREAS LISTED SHALL BE COORDINATED WITH OWNER PRIOR TO START OF CONSTRUCTION.
3. COORDINATES ON THIS PLAN ARE BASED ON NAD83 (2011), WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), MARATHON COUNTY AND REFERENCED AS SHOWN HEREON. ELEVATIONS ON THIS PLAN ARE BASED ON NAVD88 (2012).

Date	
Checked By	
Drawn By	
Revision Description	
Revision Number	
Designed By	BECHER HOPPE
Drawn By	MWO
Checked By	MRP
Approved By	JRK
Filename	002-C-001-PO.DWG
Project No.	14066
Project Date	APRIL 2023

**CITY OF WAUSAU
DRINKING WATER TREATMENT FACILITY
PFAS TREATMENT
WAUSAU, WISCONSIN
SITE DEVELOPMENT
PROJECT OVERVIEW**



Sheet No. 10

Drawing No.

002-C-001



GENERAL NOTE

1. BACKGROUND AERIAL IMAGE FROM 11/28/2022.
2. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT LIMITS THAT ARE NOT SHOWN.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UTILITY COORDINATION AND CONFLICT RESOLUTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL PUBLIC AND PRIVATE UTILITIES. EXISTING BURIED UTILITIES SHOWN IN PLAN ARE INDICATED IN ACCORDANCE WITH THE AVAILABLE RECORDS AND FIELD INFORMATION AVAILABLE TO THE ENGINEER. OTHER UTILITIES MAY BE PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING FROM THE OWNERS OF THE EXISTING UTILITIES THE LOCATION OF THEIR BURIED FACILITIES. ANY UTILITIES DAMAGED OR DESTROYED BY THE CONTRACTOR'S OPERATIONS WHETHER SHOWN ON THE DRAWINGS OR NOT, SHALL BE REPLACED OR REPAIRED TO THE UTILITY'S SATISFACTION AT NO COST TO THE OWNER. IF UTILITY FACILITIES OTHER THAN THOSE SHOWN ARE LOCATED, OR IF UTILITIES ARE LOCATED WHICH ARE NOT IN ACCORDANCE WITH THE LOCATION SHOWN ON THE DRAWINGS, THE ENGINEER SHALL BE NOTIFIED TO DETERMINE IF PLAN REVISIONS ARE NEEDED. CONTRACTOR IS REQUIRED TO FIELD LOCATE ALL CROSSING UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION ACTIVITIES TO ALLOW ENGINEER TO REVISE LOCATIONS OF NEW FACILITIES TO AVOID CONFLICTS WITHOUT ADDITIONAL COST TO OWNER.

Revision Number	Revision Description	Drawn By	Checked By	Date

Designed By	BECHER HOPPE
Drawn By	MWO
Checked By	MRP
Approved By	JRK
Filename	002-C-100-EX.DWG
Project No.	14066
Project Date	APRIL 2023

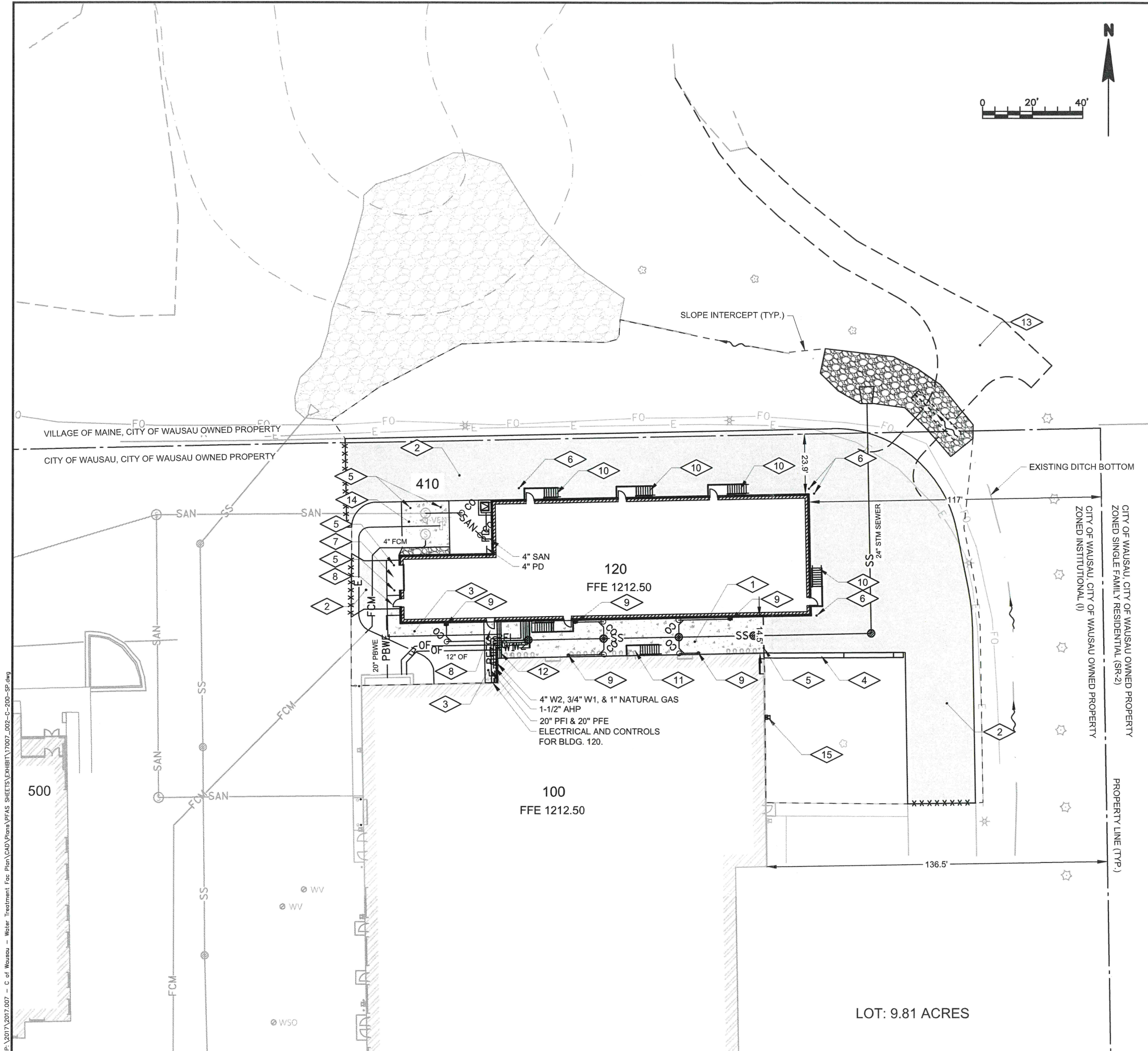
CITY OF WAUSAU
DRINKING WATER TREATMENT FACILITY
PFAS TREATMENT
WAUSAU, WISCONSIN
SITE DEVELOPMENT
EXISTING CONDITIONS

STRUCTURE LIST

- 100 - PROCESS BUILDING
- 120 - PFAS BUILDING
- 410 - SANITARY LIFT STATION
- 500 - OPERATIONS AND MAINTENANCE BUILDING

Sheet No. 12
 Drawing No. 002-C-100

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PLAN NOTES

1. REINFORCED CONCRETE DRIVEWAY. SEE (C340). SAW CUTS SHALL BE DETERMINED BY CONTRACTOR AND COORDINATED IN FIELD WITH ENGINEER.
2. HMA PAVEMENT. SEE (C380)
3. SIDEWALK ADJACENT TO BUILDING. SEE (C400)
4. SEGMENTAL RETAINING WALL WITH ALUMINUM RAILING, DESIGN PER MANUFACTURER. SEE (C360) AND (S531)
5. GUARD POST. SEE (S100)
6. GUARD POST. SEE (S101)
7. APPROACH SLAB. SEE (S366)
8. DOOR STOOP. SEE (S360)
9. ROOF DRAIN CONNECTION TO STORM SYSTEM. EXTEND ROOF DRAIN PIPING TO CONNECTION AS NECESSARY. SEE (C410)
10. ALUMINUM STAIRS AND ALUMINUM RAILING. SEE (S579) AND (S531)
11. RE-INSTALL SALVAGED ALUMINUM STAIRS AND RAILINGS. INSTALL TO ACCORDANCE (S579)
12. CONCRETE RETAINING WALL WITH ALUMINUM RAILING. SEE (S260) AND (S531). ALUMINUM RAILING SHALL BE FIELD VERIFIED AND CONSTRUCTED WITH OPENING TO AVOID CONFLICT WITH PIPING AND SUPPORTS.
13. TEMPORARY ACCESS ROAD. CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT AND MAINTAIN A TEMPORARY ACCESS ROAD FROM LAYOUT AREA TO PROPOSED SITE. CONTRACTOR SHALL INSTALL NECESSARY SALVAGED 24" HDPE PIPING FOR TEMPORARY CULVERT. CONTRACTOR SHALL REMOVE TEMPORARY ACCESS ROAD MATERIAL AND PIPING AND RESTORE TO ORIGINAL CONDITION AND/OR IN ACCORDANCE WITH PLANS AND SPECIFICATIONS ONCE ROAD IS NO LONGER NECESSARY.
14. STRUCTURE 410 CONCRETE. SEE (C420)
15. CONCRETE SPLASH PAD (TYP.). SEE (A932). EXTEND ROOF DRAIN PIPING TO CONCRETE PAD AS NECESSARY.

GENERAL NOTES

1. CONSTRUCTION STAKING INFORMATION FOR SITE AND UTILITY LAYOUT WILL BE MADE AVAILABLE BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION THROUGH ADDITIONAL PLAN SHEET CONTENT OF ELECTRONIC FILE. THREE DIMENSION DESIGN MODEL DELIVERABLES WILL BE MADE AVAILABLE FOR THE SITE LAYOUT UPON SIGNATURE OF A CAD RELEASE FORM, ALSO PROVIDED BY THE DESIGN ENGINEER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION (PAVING AND/OR TOP SOIL, SEED, FERTILIZER, MULCH, OR EROSION MAT) OF PREVIOUSLY PAVED OR GRASSED AREAS DISTURBED BY CONSTRUCTION OPERATIONS OUTSIDE THE NORMAL CONSTRUCTION LIMITS.
3. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON PLANS ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT LIMITS THAT ARE NOT SHOWN.
3. PRIOR TO START OF DEMOLITION OR CONSTRUCTION, CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UTILITY COORDINATION AND CONFLICT RESOLUTION.
5. PAVING LIMITS ARE TO BE DETERMINED IN THE FIELD BY THE OWNERS AND/OR THE OWNERS REPRESENTATIVE AND SHALL HAVE SAW CUT BUTT JOINTS.

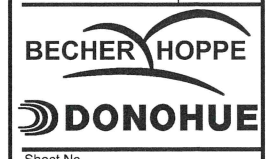
STRUCTURE LIST

- 100 - PROCESS BUILDING
- 120 - PFAS BUILDING
- 410 - SANITARY LIFT STATION
- 500 - OPERATIONS AND MAINTENANCE BUILDING

Revision Number	Revision Description	Drawn By	Checked By	Date

Designed By	BECHER HOPPE
Drawn By	MWO
Checked By	MRP
Approved By	JRK
Filename	002-C-200-SP.DWG
Project No.	14066
Project Date	APRIL 2023

CITY OF WAUSAU
DRINKING WATER TREATMENT FACILITY
PFAS TREATMENT
WAUSAU, WISCONSIN
SITE DEVELOPMENT
SITE PLAN



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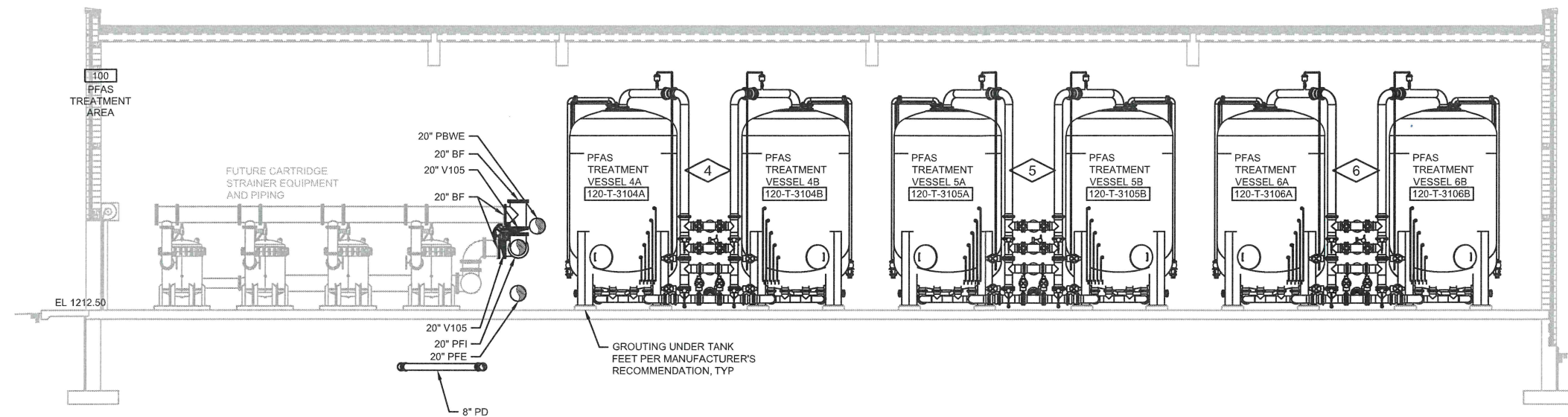
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Checked By	
Drawn By	
Revision Description	
Revision Number	
Designed By	SAM
Drawn By	SAM
Checked By	MTR
Approved By	RMH
Filename	120MP1.DWG
Project No.	14066
Project Date	APR 2023

GENERAL NOTES:

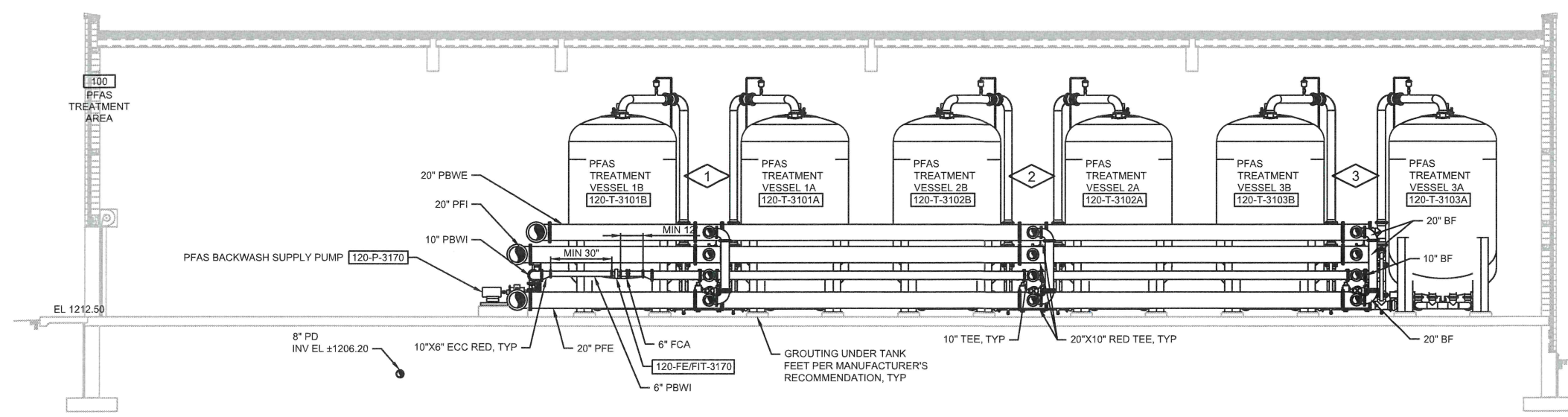
1. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS, DIMENSIONS, AND ELEVATIONS PRIOR TO CONSTRUCTION AND/OR FABRICATION.
2. REFER TO 001 SERIES OF DRAWINGS FOR THE SPACE ENVIRONMENT/HAZARDOUS RATING SCHEDULE REGARDING ENVIRONMENTAL CONDITIONS ANTICIPATED WITHIN EACH SPACE AND ALLOWABLE MATERIALS OF CONSTRUCTION TO BE USED WITHIN EACH SPACE.
3. HAZARDOUS RATINGS IDENTIFIED ON THIS DRAWING INDICATE SPACES IN WHICH A HAZARDOUS ENVIRONMENT MAY GENERALLY EXIST. CONTRACTOR SHALL REFER TO SPACE ENVIRONMENT/HAZARDOUS RATING SCHEDULE IN 001 SERIES OF DRAWINGS FOR ADDITIONAL INFORMATION EXPLAINING THE EXTENT AND ENVELOPE ASSOCIATED WITH THESE HAZARDS.
5. ALL PIPING SHALL BE SUPPORTED FROM FLOOR.
6. SEE ISOMETRIC DRAWINGS FOR DELINEATION BETWEEN EQUIPMENT AND PIPING PROVIDED BY CONTRACTOR AND PIPING PROVIDED UNDER SPECIFICATION SECTION 43 32 54.

PLAN NOTES:

1. PFAS TREATMENT SYSTEM 1 [120-M-3101]
2. PFAS TREATMENT SYSTEM 2 [120-M-3102]
3. PFAS TREATMENT SYSTEM 3 [120-M-3103]
4. PFAS TREATMENT SYSTEM 4 [120-M-3104]
5. PFAS TREATMENT SYSTEM 5 [120-M-3105]
6. PFAS TREATMENT SYSTEM 6 [120-M-3106]



SECTION A
 120-M-101
 120-M-102
 0 1' 8'

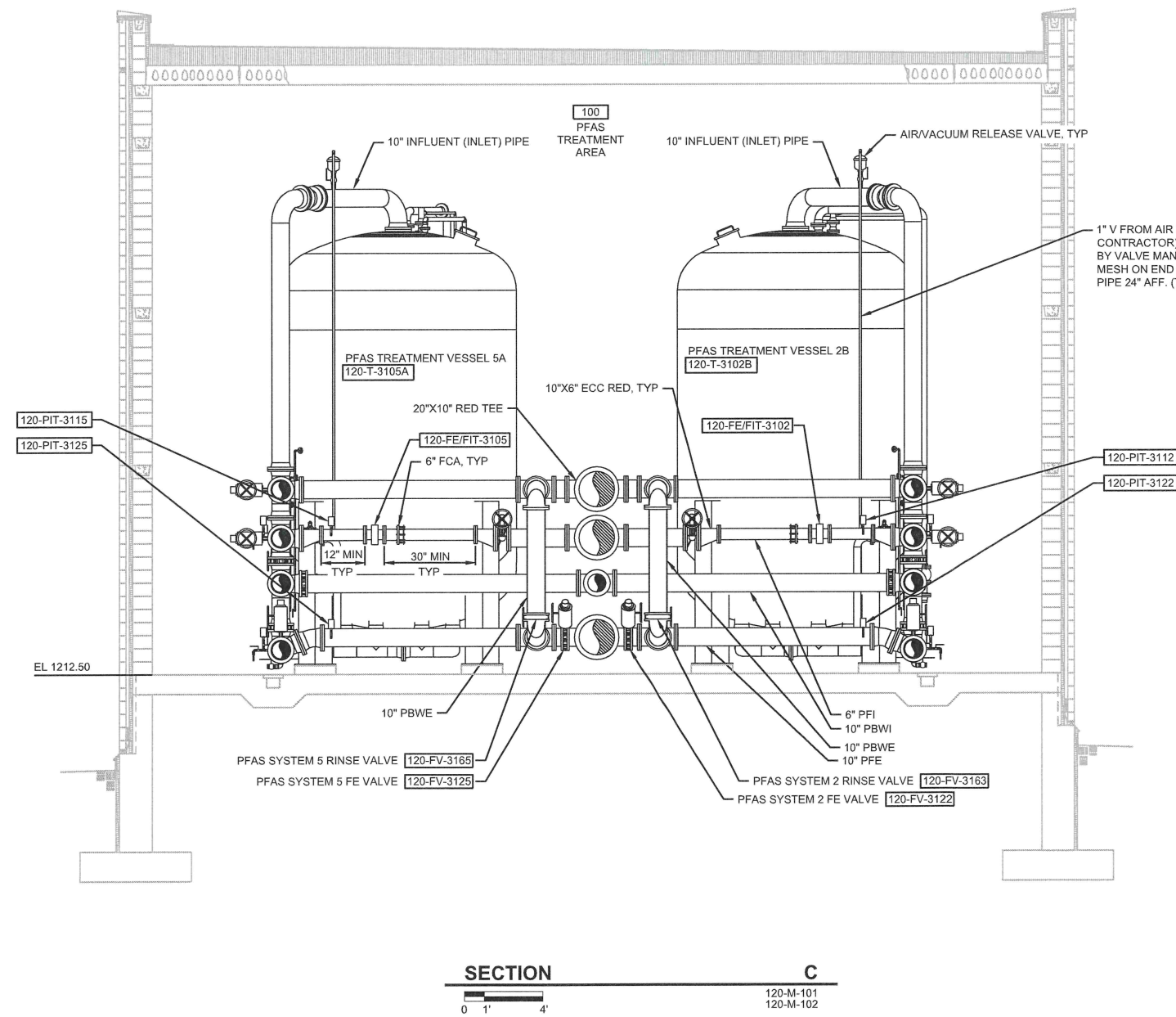


SECTION B
 120-M-101
 120-M-102
 0 1' 8'

CITY OF WAUSAU
 DRINKING WATER TREATMENT FACILITY
 PFAS TREATMENT
 WAUSAU, WISCONSIN
 PFAS TREATMENT BUILDING SECTIONS



Sheet No. 88
 Drawing No.



- GENERAL NOTES:**
1. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS, DIMENSIONS, AND ELEVATIONS PRIOR TO CONSTRUCTION AND/OR FABRICATION.
 2. REFER TO 001 SERIES OF DRAWINGS FOR THE SPACE ENVIRONMENT/HAZARDOUS RATING SCHEDULE REGARDING ENVIRONMENTAL CONDITIONS ANTICIPATED WITHIN EACH SPACE AND ALLOWABLE MATERIALS OF CONSTRUCTION TO BE USED WITHIN EACH SPACE.
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 4. ALL PIPING SHALL BE SUPPORTED FROM FLOOR.
 5. SEE ISOMETRIC DRAWINGS FOR DELINEATION BETWEEN EQUIPMENT AND PIPING PROVIDED BY CONTRACTOR AND PIPING PROVIDED UNDER SPECIFICATION SECTION 43 32 54.

Date	Checked By	Drawn By	Revision Description	Revision Number

Designed By	SAM
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CITY OF WAUSAU
 DRINKING WATER TREATMENT FACILITY
 PFAS TREATMENT
 WAUSAU, WISCONSIN
 PFAS TREATMENT BUILDING
 SECTION



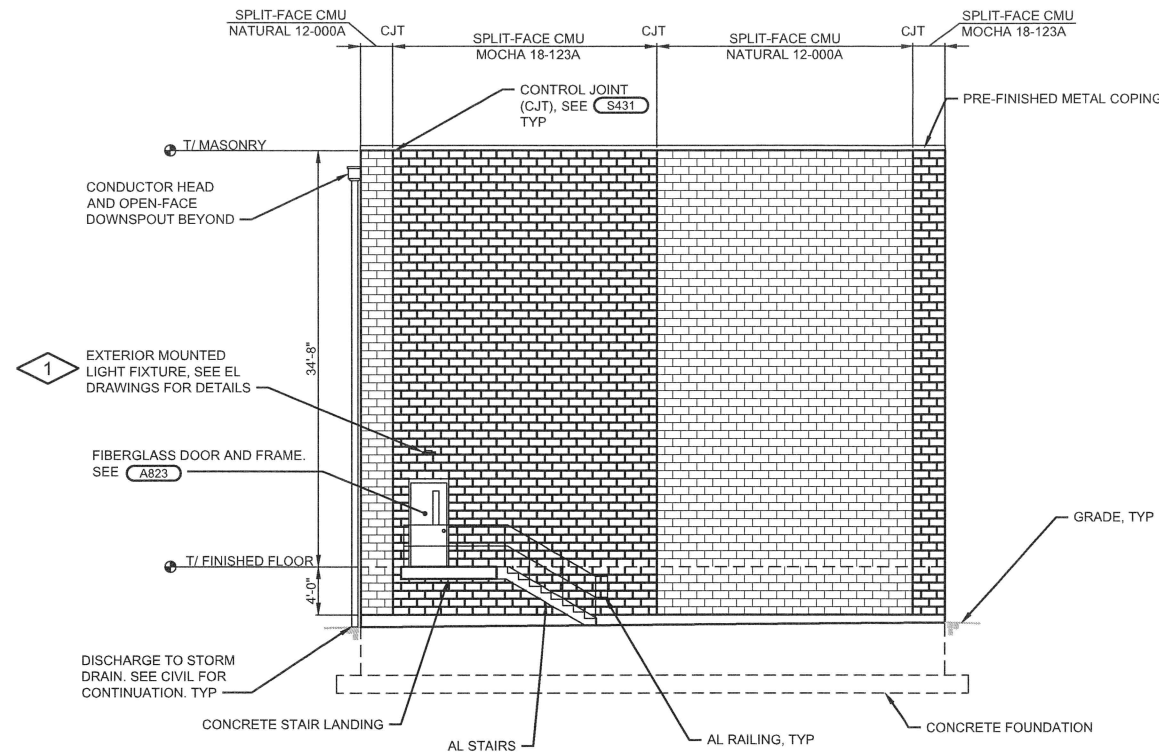
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GENERAL NOTES:

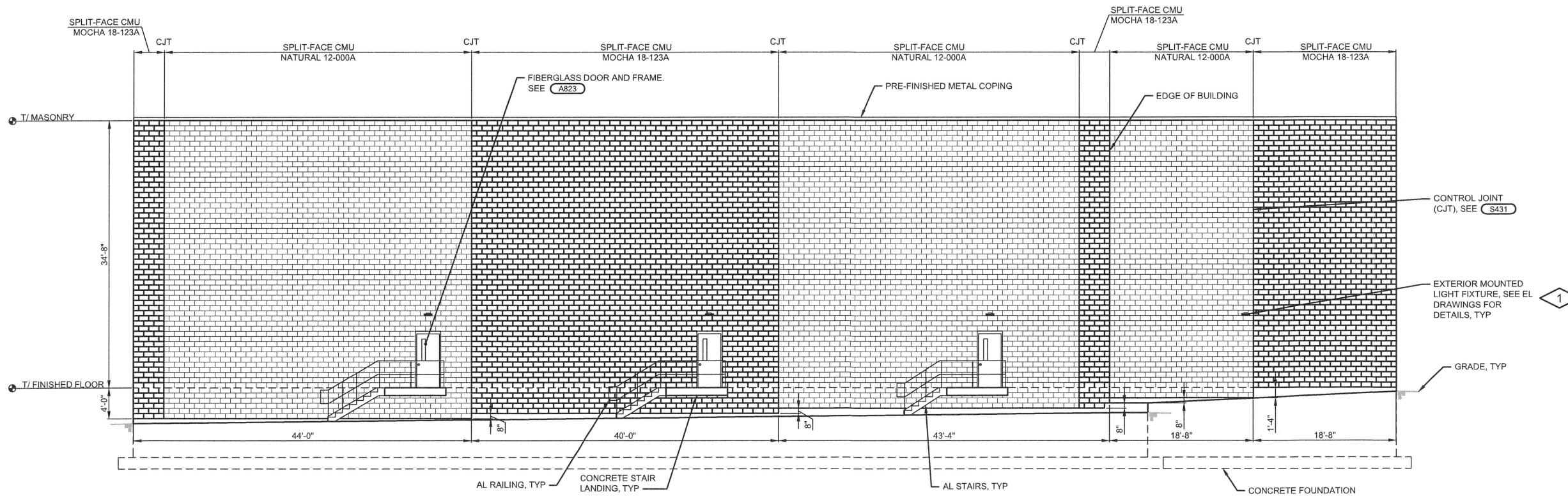
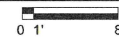
- CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS, DIMENSIONS, AND ELEVATIONS PRIOR TO CONSTRUCTION AND/OR FABRICATION.
- REFER TO 001 SERIES OF DRAWINGS FOR THE SPACE ENVIRONMENT/HAZARDOUS RATING SCHEDULE REGARDING ENVIRONMENTAL CONDITIONS ANTICIPATED WITHIN EACH SPACE AND ALLOWABLE MATERIALS OF CONSTRUCTION TO BE USED WITHIN EACH SPACE.
- HAZARDOUS RATINGS IDENTIFIED ON THIS DRAWING INDICATE SPACES IN WHICH A HAZARDOUS ENVIRONMENT MAY GENERALLY EXIST. CONTRACTOR SHALL REFER TO SPACE ENVIRONMENT/HAZARDOUS RATING SCHEDULE IN 001 SERIES OF DRAWINGS FOR ADDITIONAL INFORMATION EXPLAINING THE EXTENT AND ENVELOPE ASSOCIATED WITH THESE HAZARDS.

PLAN NOTES:

- PROVIDE SMOOTH-FACE CMU, COLOR TO MATCH SPLIT-FACE CMU, AT LOCATIONS WHERE ACU EXTERIOR LIGHT FIXTURES AND EXHAUST FANS ARE WALL MOUNTED.



EAST ELEVATION



NORTH ELEVATION



Date	Checked By	Drawn By	Revision Description	Revision Number

Designed By	SRW/CLS
Drawn By	SRW/CLS
Checked By	TJB
Approved By	CLS
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Project No.	14066
Project Date	APR 2023

CITY OF WAUSAU
DRINKING WATER TREATMENT FACILITY
PFAS TREATMENT
WAUSAU, WISCONSIN
PFAS TREATMENT BUILDING
ELEVATIONS

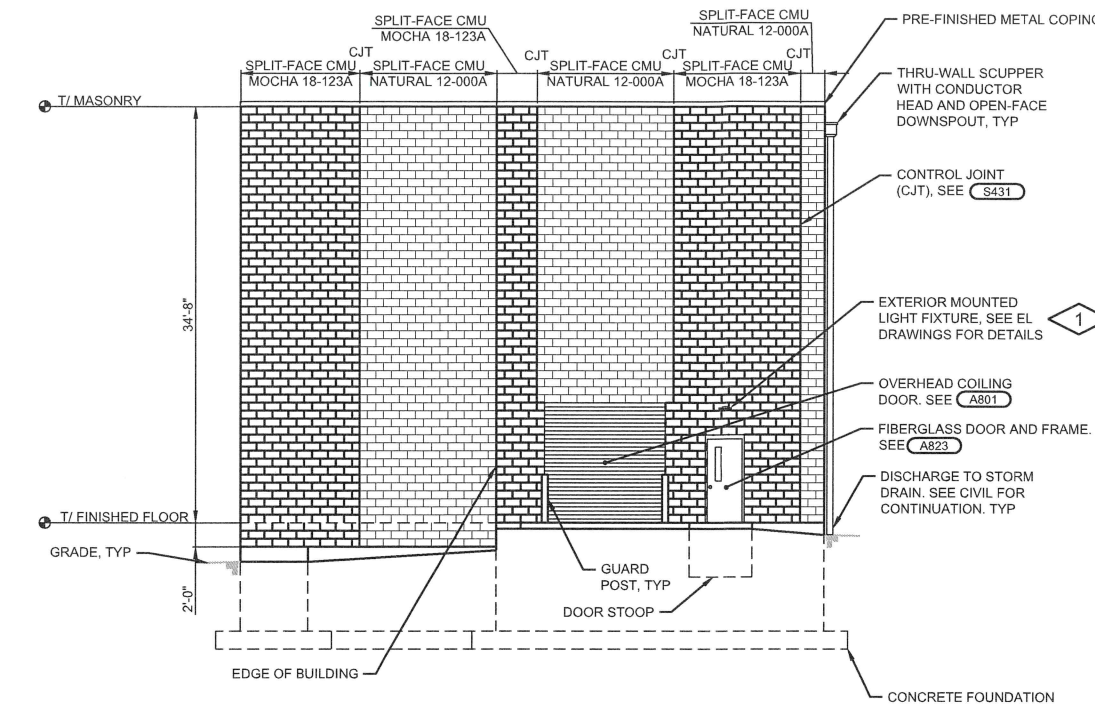
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Sheet No. 82
Drawing No. 120-AS-201

GENERAL NOTES:

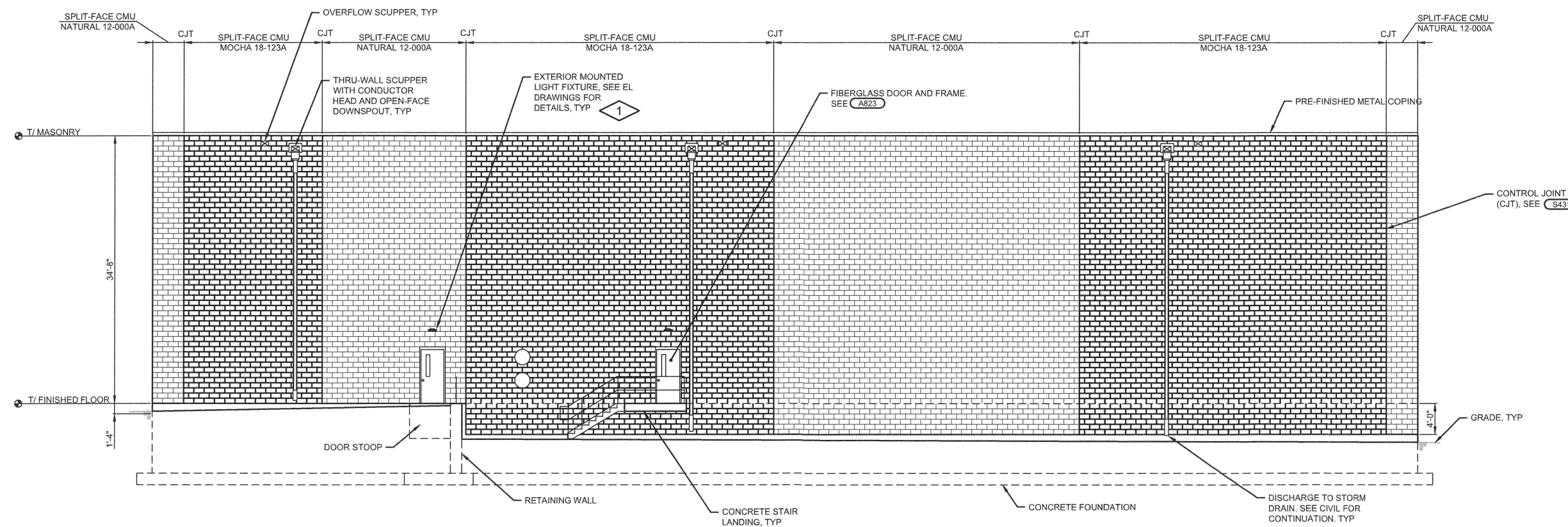
1. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS, DIMENSIONS, AND ELEVATIONS PRIOR TO CONSTRUCTION AND/OR FABRICATION.
2. REFER TO 001 SERIES OF DRAWINGS FOR THE SPACE ENVIRONMENT/HAZARDOUS RATING SCHEDULE REGARDING ENVIRONMENTAL CONDITIONS ANTICIPATED WITHIN EACH SPACE AND ALLOWABLE MATERIALS OF CONSTRUCTION TO BE USED WITHIN EACH SPACE.
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PLAN NOTES: ◊

1. PROVIDE SMOOTH-FACE CMU, COLOR TO MATCH SPLIT-FACE CMU, AT LOCATIONS WHERE ACU, EXTERIOR LIGHT FIXTURES AND EXHAUST FANS ARE WALL MOUNTED.



WEST ELEVATION



SOUTH ELEVATION



Revision Number	Revision Description	Drawn By	Checked By	Date

Designed By	SRW/CLS
Drawn By	SRW/CLS
Checked By	TJB
Approved By	CLS
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Project Date	APR 2023

**CITY OF WAUSAU
DRINKING WATER TREATMENT
PFAS TREATMENT
WAUSAU, WISCONSIN
PFAS TREATMENT BUILDING
ELEVATIONS**



Sheet No.	83
Drawing No.	

120-AS-202